

ADDENDUM

Project: Spring Creek 2,4,7

Project No.: 516102918020101

Addendum No.: 1

Project Address: 350 North 400 East, Springville, UT 84664

Date: July 17, 2018

Owner: Corporation of the Presiding Bishop of The Church of Jesus Christ
of Latter-day Saints, a Utah corporation sole

From: KNELL, ARCHITECTS
45 East 300 North, Provo, Utah 84606

Instructions to Prospective Bidders:

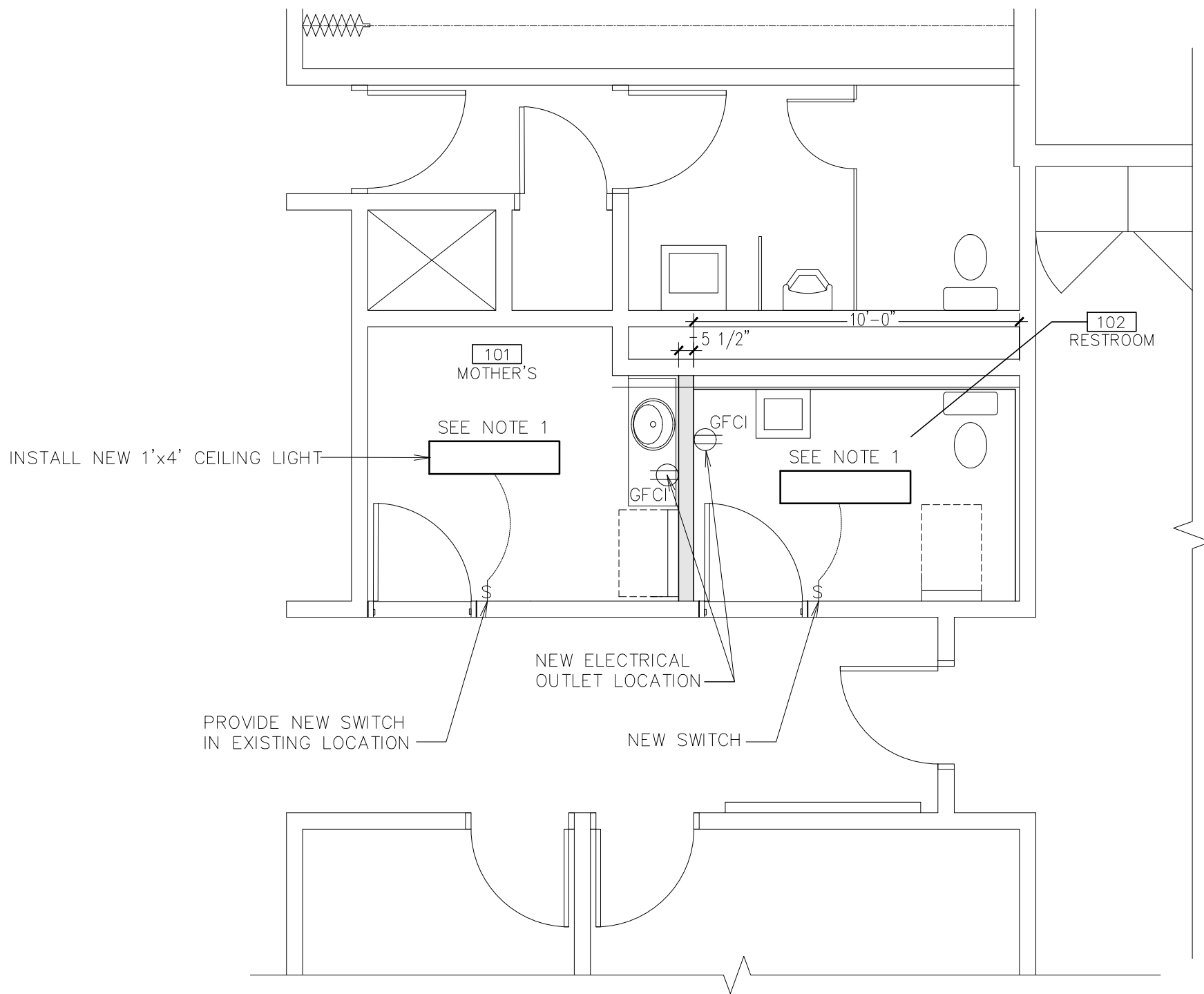
This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents and/or prior Addenda as noted below. All conditions, requirements, materials and workmanship are to be as described in the Contract Documents unless specifically stated otherwise. This Addendum consists of 1 page and attached Sheet A1.3.

1. Changes to prior Addenda: None
2. Changes to Bidding Requirements:
 - a. Refer to Invitation To Bid and make the following changes:
 1. Delete Article 9 and replace with the following Article 9:
9. Sealed bids will be received prior to 2:00 pm on July 19, 2018 at the Chapel located at 350 North 400 East, Springville, UT in the Relief Society Room.
Bids will be publicly opened at 2:00 pm on July 19, 2018 at the Chapel located at 350 North 400 East, Springville, UT in the Relief Society Room.
3. Changes to Conditions of the Contract:
 - a. Refer to Supplementary Conditions and add the following Item 4:
Item 4: Include in the bid the sum of **\$4,500.00** to be used as the amount for permits and fees to Springville City. Once the exact amount of permits and fees is known the amount will be adjusted up or down by change order. The Owner will then receive a credit back or the Contractor will receive an extra.
4. Changes to Specifications: None.
5. Changes to Drawings:
 - a. Refer to Sheet **A1.2**.
 - 1) Provide R-11 acoustical batt insulation in new wall between Mother's Room and Restroom.
 - 2) Provide 6-inch-wide stainless steel shelf in Restroom. Locate as directed by Architect.
 - 3) Provide an area 4 foot by 4 foot of paver tile on the floor in the Mother's Room under the lavatory and countertop.
 - b. Delete Sheet **A1.3** and replace with the attached Sheet **A1.3**.

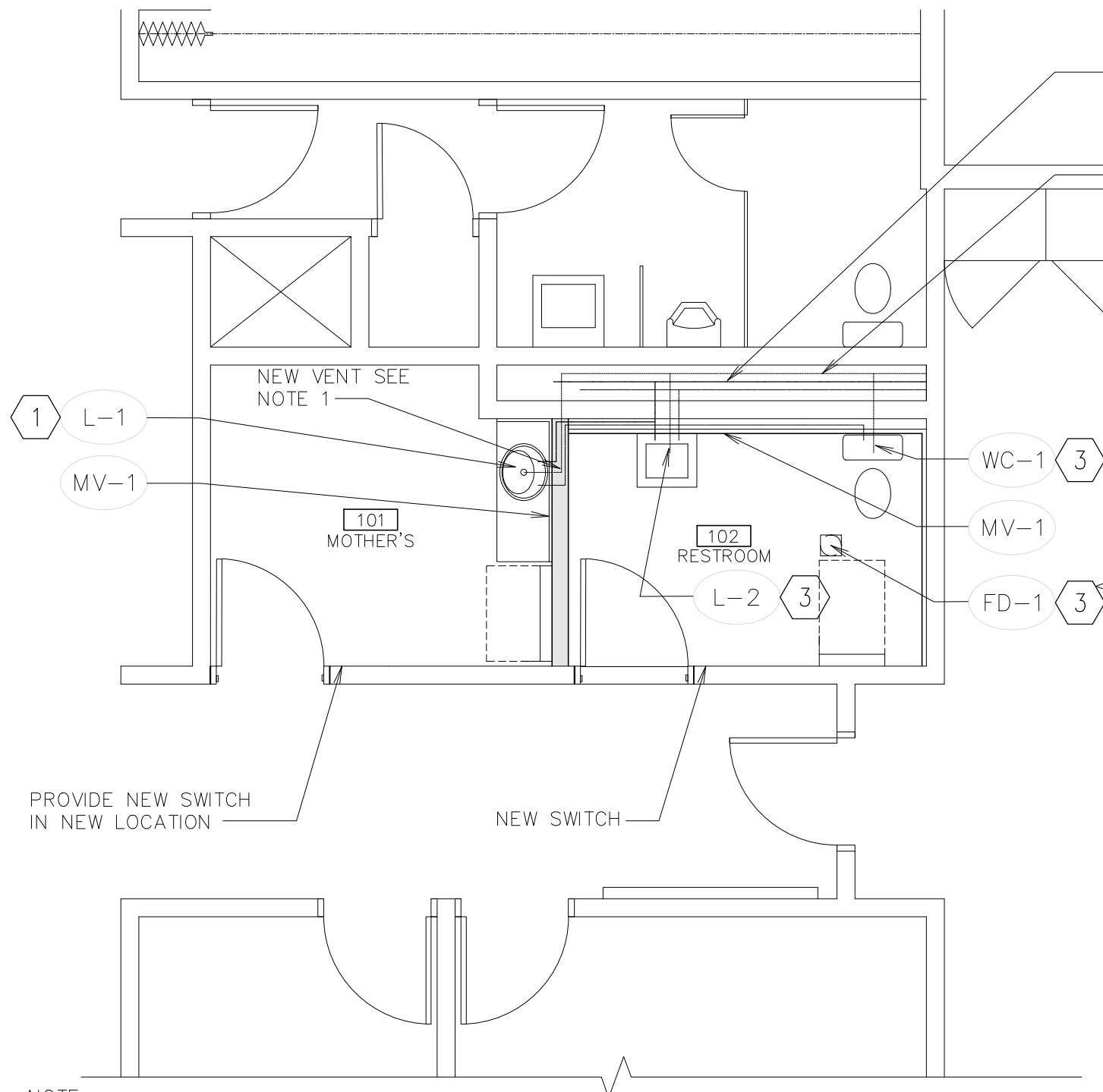
End of Addendum

PLUMBING NOTES:

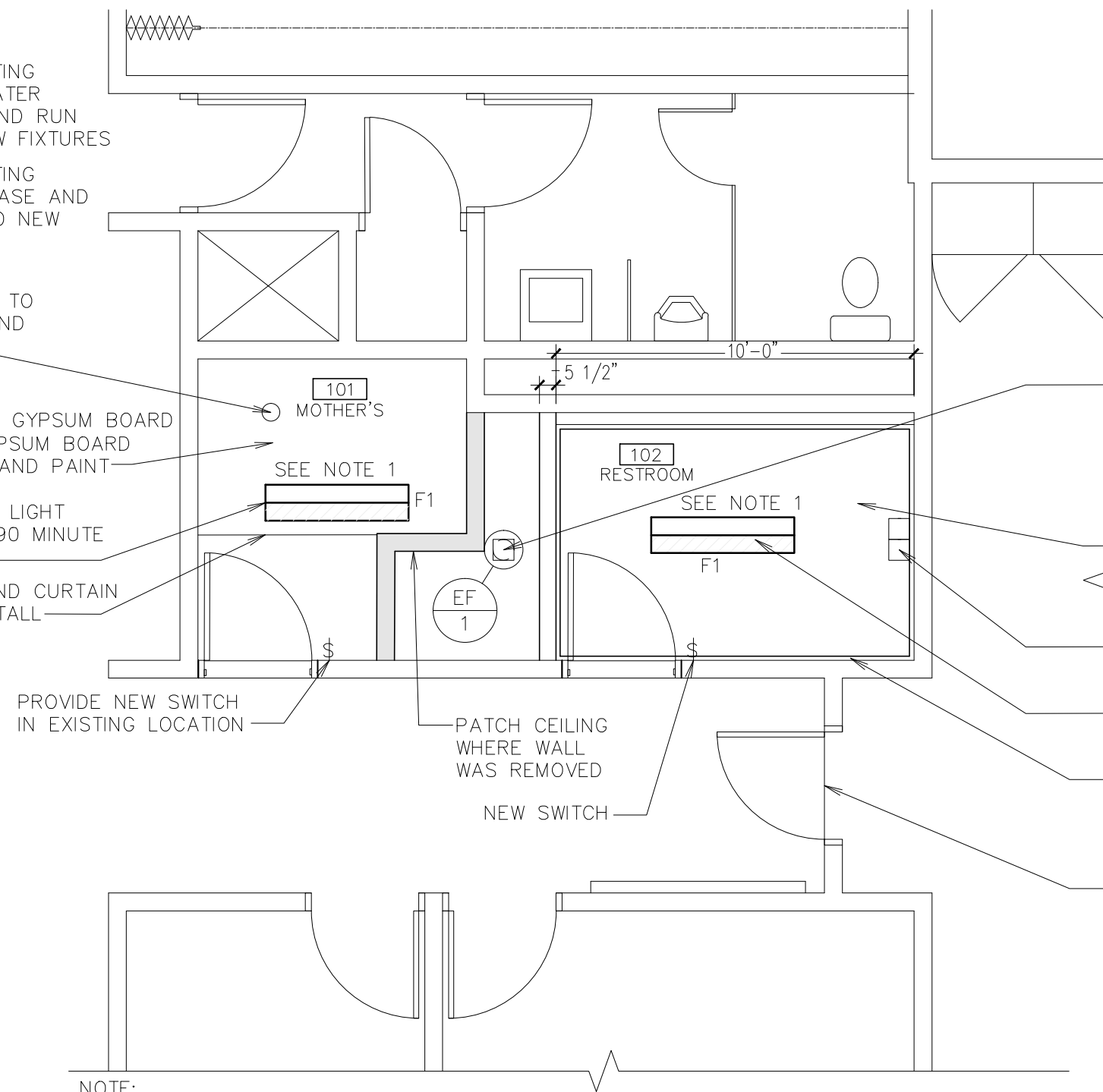
- IF CONTRACTOR ENCOUNTERS MATERIAL THAT MAY CONTAIN ASBESTOS, HE SHALL IMMEDIATELY STOP WORK IN THIS AREA AND NOTIFY OWNER.
- EXISTING PIPE LOCATIONS AND PIPE SIZES SHOWN HAVE BEEN TAKEN FROM EXISTING DRAWINGS, CONTRACTOR IS TO FIELD DETERMINE EXACT SIZE, ELEVATION AND LOCATION OF EXISTING PIPING INSIDE THE BUILDING AT SPECIFIED CONNECTION POINTS PRIOR TO STARTING ANY WORK.
- SAW CUT OR CORE DRILL ALL NEW PENETRATIONS THROUGH EXISTING MASONRY CONSTRUCTION.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY NEW CONSTRUCTION TO MATCH EXISTING.
- DEMOLITION - GENERAL
 - REMOVE ALL RELATED PIPING AND APPURTENANCES.
 - PATCH AND REPAIR ALL EXISTING SURFACES(WALL, FLOOR, CEILING, ETC.) TO MATCH EXISTING
- REMODEL - GENERAL
 - CONCEAL ALL PIPINGEQUIPMENT, AND APPURTENANCES UNLESS OTHERWISE NOTED.
 - REMOVE EXISTING SURFACES (WALL, ROOF, FLOOR, CEILING, ETC.) AS REQUIRED AND REPLACE TO MATCH EXISTING.
- ALL PLUMBING SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES, ORDINANCES OR THE SPECIFICATIONS.
- ALL FIXTURES SHALL BE PROPERLY VENTED TO THE ATMOSPHERE.
- FOR INDIVIDUAL LINE SIZES TO FIXTURES, SEE FIXTURE SCHEDULE
- FOR INDIVIDUAL LINE SIZES TO FIXTURES, SEE FIXTURE SCHEDULE
- FOR INDIVIDUAL LINE SIZES TO FIXTURES, SEE FIXTURE SCHEDULE
- PROTECT ALL PLUMBING PIPING WHICH IS TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES
- MINIMUM SIZE OF PIPING BELOW SLAB IS 3/4"



- NOTE:**
- FURNISH AND INSTALL 90 MINUTE REMOTE EMERGENCY BATTERY PACK IN THE INDICATED FIXTURES. PROVIDE AN UNSWITCHED CIRCUIT LEG FOR MONITORING AND BATTERY CHARGING, REFER TO SPECIFICATION FOR MORE REQUIREMENTS
 - INSTALL ALL MISCELLANEOUS ITEMS THAT WERE SAVED TO WALLS IN PROPER LOCATION



- NOTE:**
- CONNECT NEW PLUMBING VENTS TO EXISTING VENTS THRU ATTIC AND ROOF. CUT HOLE IN EXISTING MOTHERS ROOM CEILING TO ACCESS VENTS. REPAIR HOLE IN CEILING GYPSUM BOARD AND PROVIDE INSULATION WHERE REMOVED.
 - INSTALL ALL MISCELLANEOUS ITEMS THAT WERE SAVED TO WALLS IN PROPER LOCATION
 - INSTALL NEW FIXTURE, RECONNECT TO EXISTING WASTE, VENT, AND SUPPLIES



- NOTE:**
- FURNISH AND INSTALL 90 MINUTE REMOTE EMERGENCY BATTERY PACK IN THE INDICATED FIXTURES. PROVIDE AN UNSWITCHED CIRCUIT LEG FOR MONITORING AND BATTERY CHARGING, REFER TO SPECIFICATION FOR MORE REQUIREMENTS
 - INSTALL ALL MISCELLANEOUS ITEMS THAT WERE SAVED TO WALLS IN PROPER LOCATION
 - CIRCUIT EXHAUST FAN WITH THE ROOM LIGHTS AND CONTROL WITH OCCUPANCY SENSOR IN THE ROOM

① ENLARGED ELECTRICAL RESTROOMS
1/4" = 1'-0" NORTH

② ENLARGED PLUMBING PLAN RESTROOMS
1/4" = 1'-0" NORTH

③ ENLARGED REFLECTED CEILING PLAN
1/4" = 1'-0" NORTH

STANDARD FIXTURE SCHEDULE								
TYPE	NAME	MANUFACTURER	CATALOG NUMBER	LOAD (VA)	LAMPS TYPE	MOUNTING	REMARKS	SYMBOL
F1	DAY-BRITE METALUX H.E. WILLIAMS CS LITHONIA COLUMBIA	OWN232-UNV-1/2-EB WN-232A-UNV-GE-GE232MAXLULTRA-U 17-4-L55/8XX-A-DIM-UNV WN10-232-SSOLR-UE 58232 MVOLT APUP AINV-232		56	2-28W T8 3000K	SURFACE	4"x10" FIXTURE WITH WRAP AROUND ACRYLIC LENS. *ELECTRONIC BALLAST SEE SPEC. 265100	

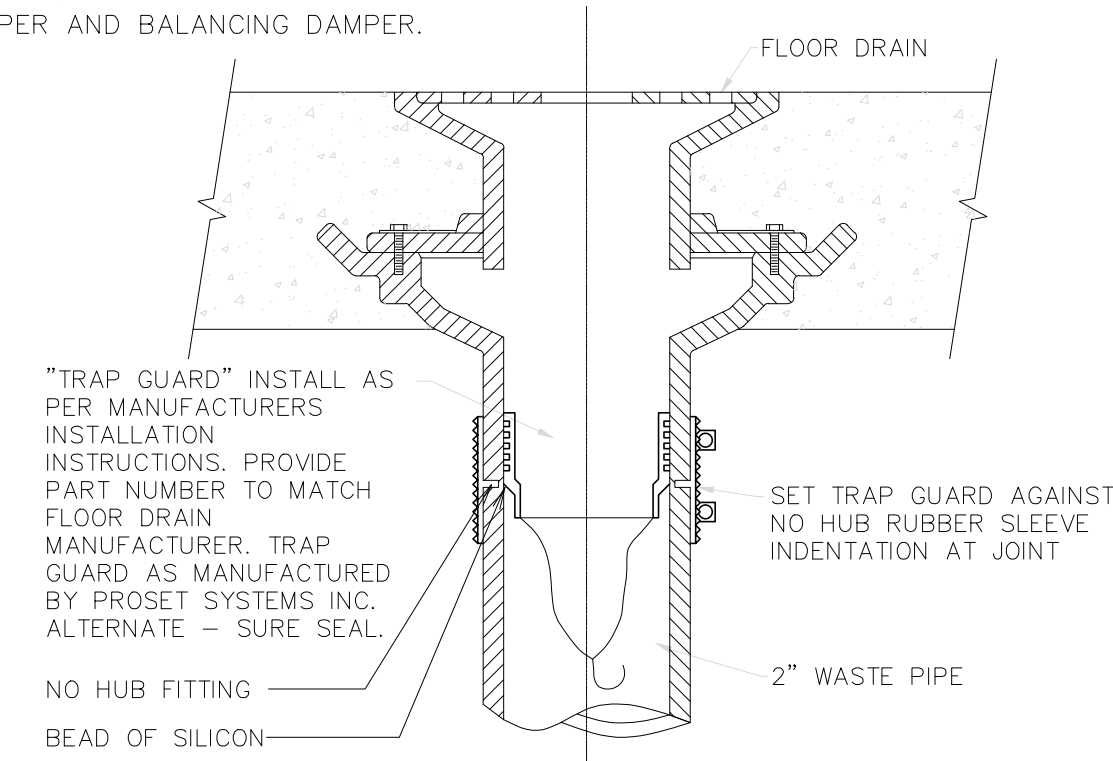
ELECTRICAL EXHAUST FAN SCHEDULE								
SYM	DESCRIPTION	CIRCUIT	FEEDER	VOLTS/@	DISCONNECT	STARTER	HP/WATTS	FLA
EF 1	EXHAUST FAN	A-25	2 #12	120/1	-	-	100 W	.8

PLUMBING FIXTURE SCHEDULE							
MARK	FIXTURE	PIPE SIZE					REMARKS
		TRAP	WASTE	VENT	C.W.	H.W.	
L-1	LAVATORY	1-1/4"	1-1/4"	1-1/2"	1/2"	1/2"	COUNTER TOP ADA COMPLIANT, WALL MOUNTED ① ②
L-2	LAVATORY	1-1/4"	1-1/4"	1-1/2"	1/2"	1/2"	SELF SUPPORTING 20"x18", SEE ARCHITECTURAL ELEVATIONS ① ②
WC-1	WATER CLOSET	INT.	4"	2"	1/2"	-	FLUSH TANK, 18" RIM HEIGHT (ADA APPROVED)
FD-1	FLOOR DRAIN	2"	2"	2"	-	-	WITH DEEP SEAL P-TRAP & 'TRAPGUARD'. SEE DETAIL C/A1.3
MV-1	MIXING VALVE	-	-	-	1/2"	1/2"	FOR LAVATORIES SEE DETAIL B/A1.3

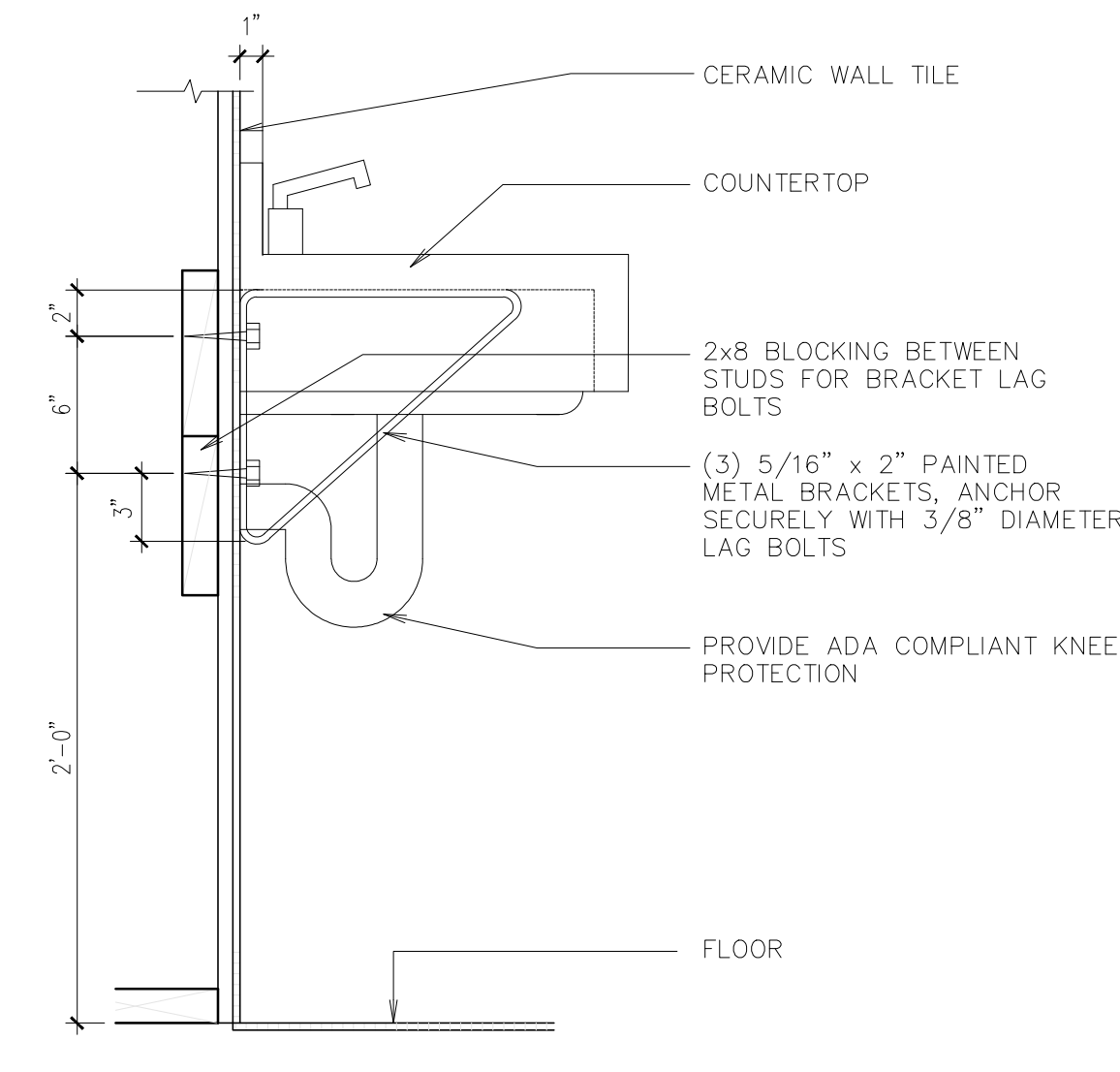
- ① WHEN MOUNTED PER ARCHITECTURAL ELEVATIONS, ADA ACCESSIBILITY REQUIREMENTS ARE SATISFIED
② PROVIDE MIXING VALVE

EXHAUST FAN SCHEDULE					
MARK	SERVES ROOM	MIN. S.C.F.M. ①	STATIC PRESSURE IN. W.G.	MINIMUM WATTS	REMARKS
EF 1	MOTHERS ROOM	75	0.25	81W	① ② ③

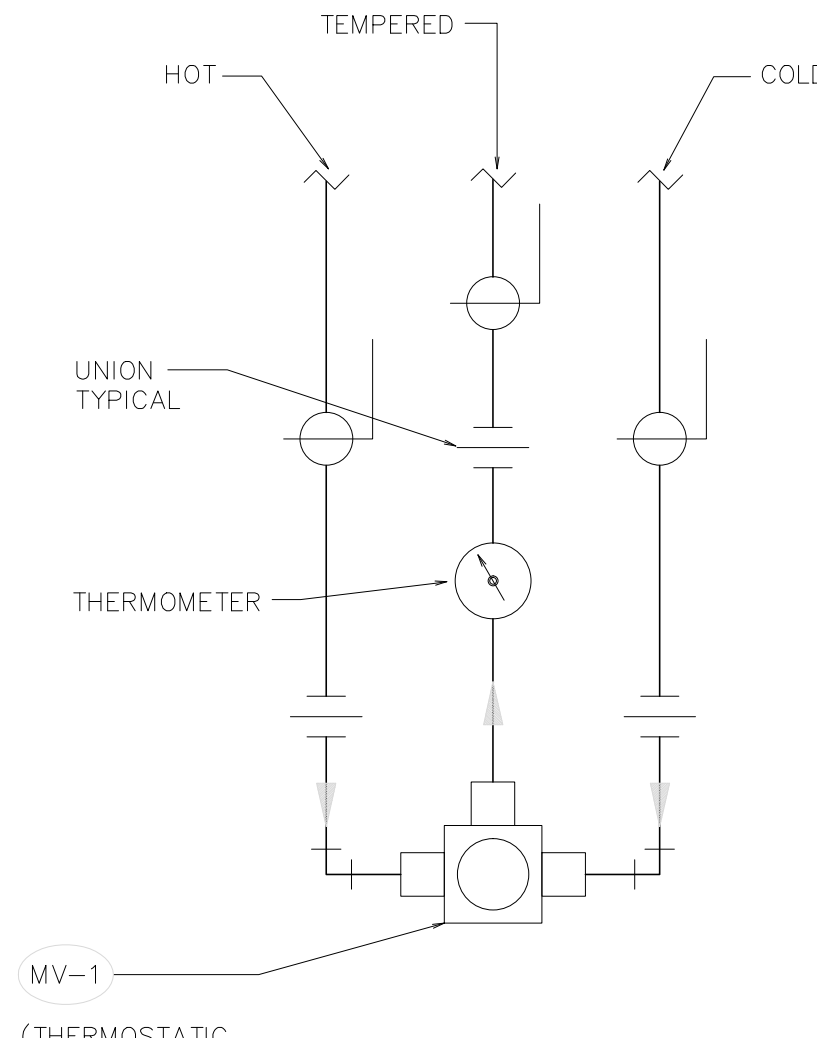
- ① CONTROL: INTERLOCK WITH LIGHTS
② VOLTAGE IS 115V / 1 PHASE / 60 HZ
③ PROVIDE BACKDRAFT DAMPER AND BALANCING DAMPER.



③ TRAP GUARD TRAP SEAL DETAIL
SCALE: NONE



④ SECTION
1/2" = 1'-0"



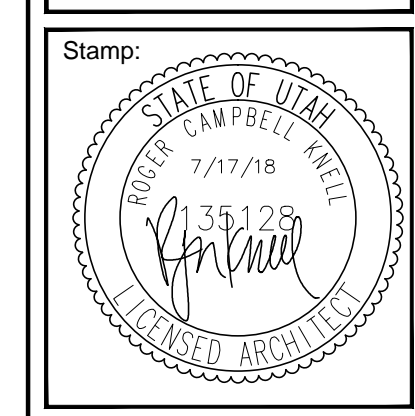
⑤ MIXING VALVE PIPING SCHEME
SCALE: NONE

FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	SPECIAL TRIM OR EQUIPMENT
MAIN FLOOR						
101	ROOM	F1	B2	W3	C1	CH1
102	ROOM	F2	B1	W1,W4	C1	CH1, S1, S2

DESCRIPTION	
F FLOOR	B BASE
F1 EXISTING CARPET TO REMAIN	B1 NONE
F2 CERAMIC TILE	B2 CARPET BASE
	B1 NONE
W WALLS	CH CEILING HEIGHT
W1 2X4 W/ 5/8" GYPSUM-PAINTED	CH1 7'-11 1/2"
W2 EXISTING MASONRY - PAINTED	
W3 GYPSUM - TEXTURED & PAINTED	
W4 CERAMIC TILE	
C CEILING	
C1 5/8" GYPSUM BOARD-PAINTED	
S SPECIAL TRIM OR EQUIPMENT	
S1 GRAB BARS	
S2 WOOD TRIM	

- NOTE:**
- ALL ITEMS ARE NEW UNLESS NOTED AS EXISTING
 - WOOD TRIM AT CEILING TO BE PAINTED TO MATCH EXISTING
 - REINSTALL ACCESSORIES REMOVED TO BE REINSTALLED AS DIRECTED BY ARCHITECT

Architect / Engineer:
KNELL ARCHITECTS, P.C.
45 EAST 300 NORTH, PROVO, UTAH 84606
PHONE: (801) 375-6334 FAX: (801) 377-1061



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
SPRING CREEK 2, 4, 7
350 N. 400 E
SPRINGVILLE, UTAH

Project Number:
516102918020101
Plan Series:
R & I
Property Number:
516102918020101

Sheet Title:
ENLARGED RESTROOM, ELECTRICAL, PLUMBING, MECHANICAL

Sheet:
A1.3

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