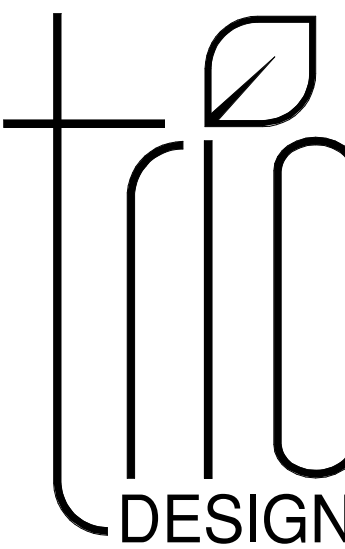
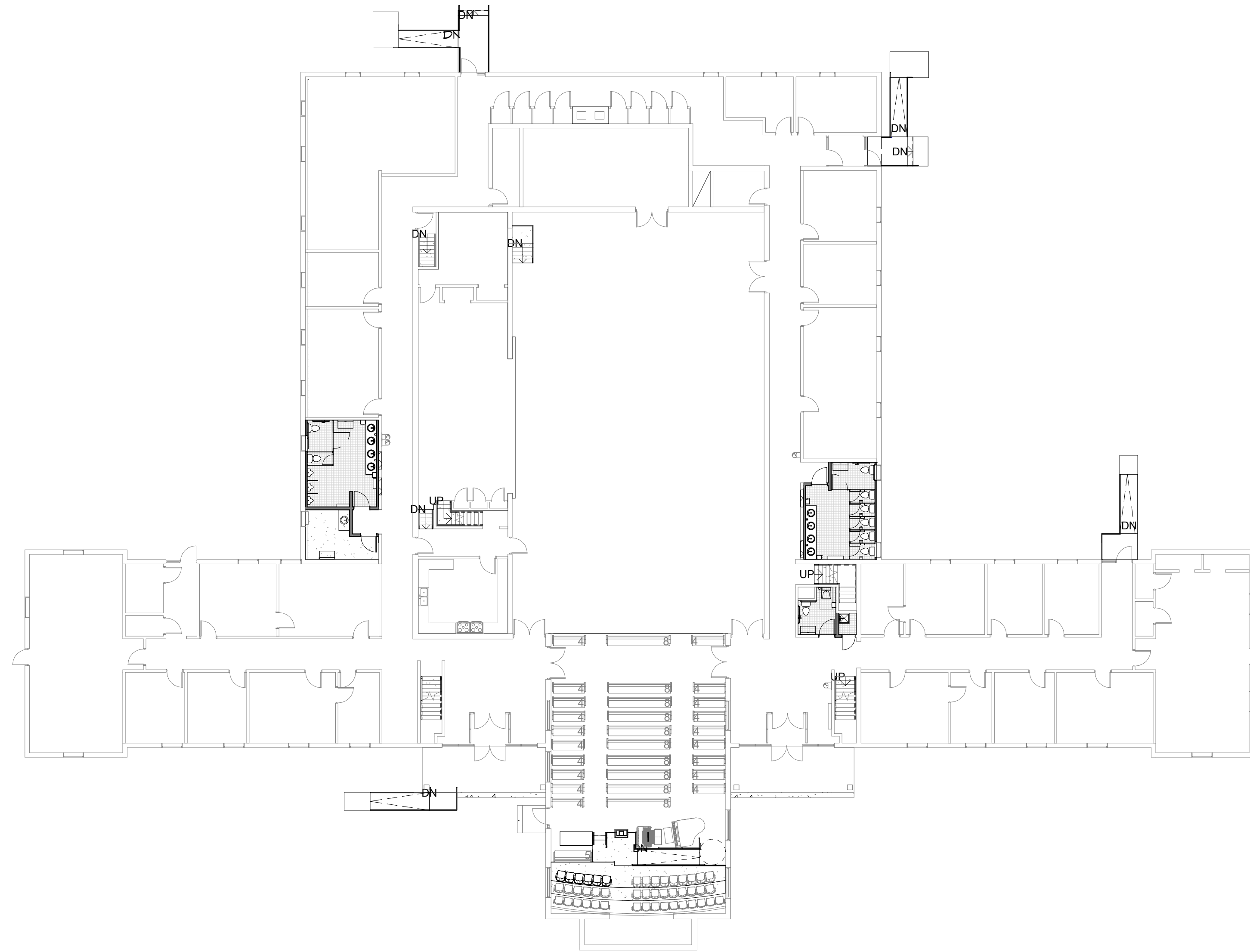
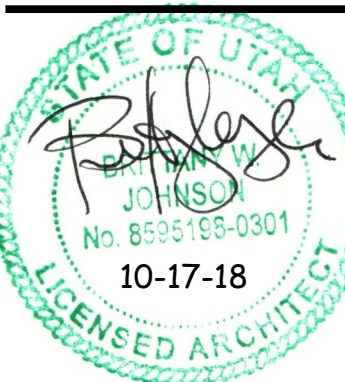


PARK 1, 4, 10

RESTROOM & ADA UPGRADES



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Project Name:
**PARK 1, 4, 10
RESTROOM & ADA UPGRADES**
50 SOUTH 750 WEST, OREM UTAH

Project For:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Revisions:

Date:
17 OCT. 2018

Project Number:
505-0693

Sheet Title:
COVER SHEET

Sheet No.:
G100

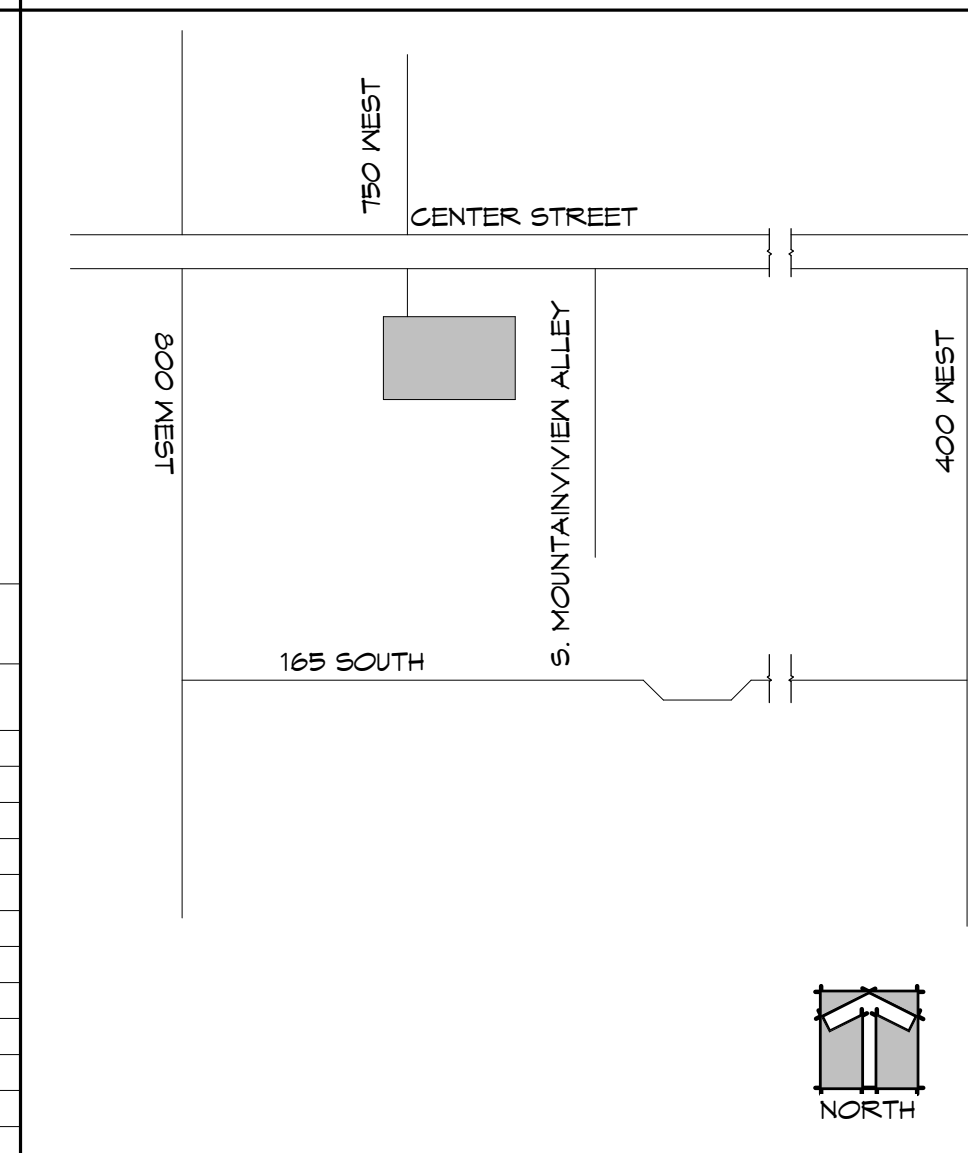
ARCHITECT AND CONSULTANTS

ARCHITECT
BRITTANY WHITE JOHNSON
TRIO DESIGN, INC.
3075 WEST 1800 SOUTH, STE. 201
WEST JORDAN, UT 84088
(801) 411-9951

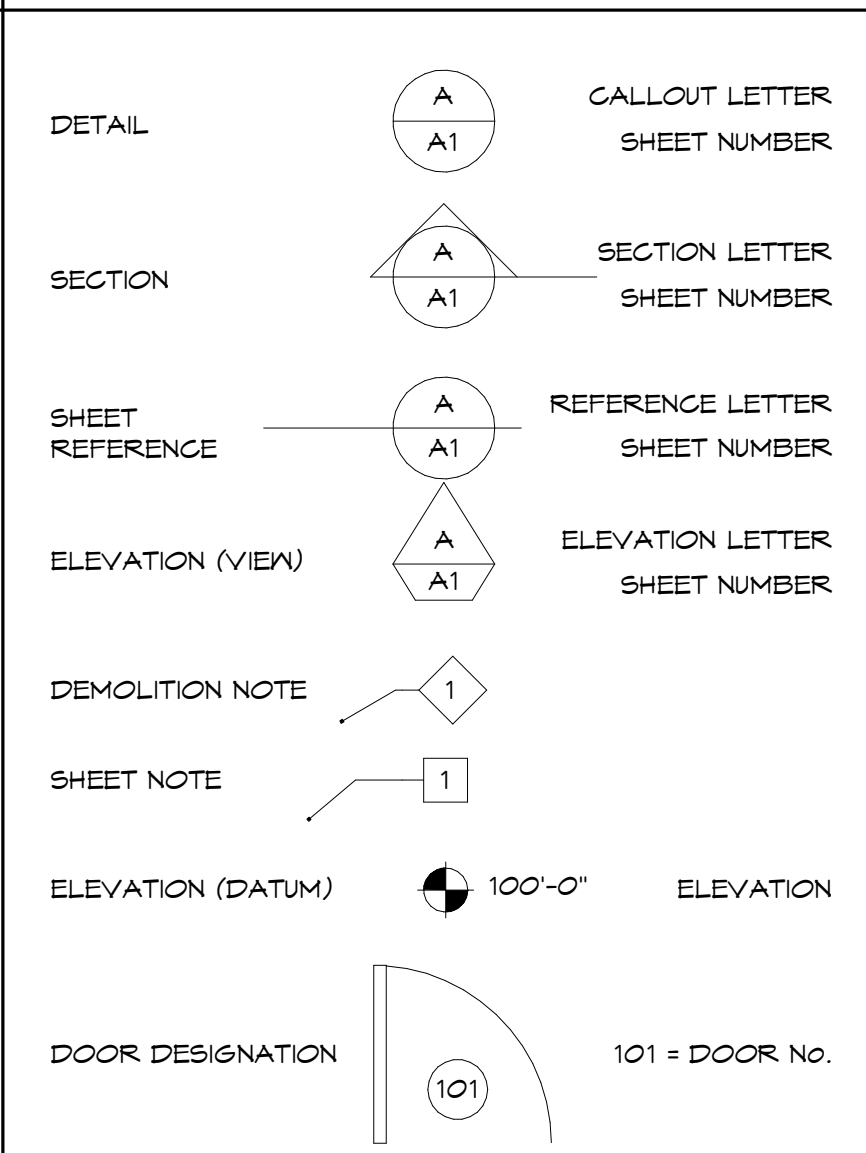
MECHANICAL / PLUMBING ENGINEER
EARL DALLON
B & D ENGINEERING
1225 FORT UNION BLVD, STE. 330
COTTONWOOD HEIGHTS, UT 84041
(801) 685-9383

SHEET NUMBER	SHEET NAME
G100	COVER SHEET
G200	ACCESSIBILITY
A100	DEMOLITION PLAN
A101	FLOOR PLAN
A102	ENLARGED RESTROOM PLANS/DETAILS
A103	ENLARGED ROSTRUM PLAN/DETAILS
A104	EXTERIOR RAMP PLANS/DETAILS
A401	WALL TYPES & DOOR SCHEDULE
MP100	OVERALL DEMOLITION M/P PLAN
MP101	OVERALL MECHANICAL & PLUMBING PLAN
M200	LARGE SCALE MECHANICAL PLAN
P200	LARGE SCALE PLUMBING PLAN

VICINITY MAP



SYMBOLS



GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, SCHEDULING INSPECTIONS AND PROVIDING MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE CODES MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE CODES BY LOCAL AND STATE AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES AND/OR UNFORESEEN ADVERSE CONDITIONS REQUIRING DRAWINGS AND/OR CONSTRUCTION MODIFICATION IN WRITING TO THE ARCHITECT'S AND CONSTRUCTION MANAGER'S OFFICE.
- ALL NEW CONSTRUCTION AND MODIFICATIONS TO ANY EXISTING CONSTRUCTION OF SYSTEMS RELATED TO ANY CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CONSTRUCTION, ENERGY, MECHANICAL, ELECTRICAL, STRUCTURAL, CIVIL OR ANY OTHER BUILDING RELATED STATE OR LOCAL CODES THAT ARE ADOPTED AND ENFORCEABLE.
- ALL ITEMS THAT PENETRATE FIRE RATED CEILINGS (LIGHTS & ETC.) SHALL BE TENTED WITH 5/8" TYPE C GYPSUM BOARD.
- CONTRACTOR TO PROVIDE WOOD BACKING FOR ALL ITEMS ATTACHED TO WALLS.
- "PROVIDE" SHALL REPRESENT THE REQUIREMENT TO SUPPLY AND INSTALL THE ITEM INDICATED.
- ANY AND ALL QUESTIONS REGARDING THESE DRAWINGS SHALL BE DIRECTED TO THE ARCHITECT.
- THE ARCHITECT & OWNER ASSUME NO RESPONSIBILITY FOR ANY UNFORESEEN EXISTING CONDITIONS, ANY CONTRACTOR'S WORK, WORKMEN, SUBCONTRACTORS OR ANY PERSON CONNECTED WITH ANY CONSTRUCTION ON THIS WORK.
- DIMENSIONS ARE TO FACE OF EXISTING SURFACES AND FACE OF NEW FRAMING/ CONCRETE UNLESS OTHERWISE NOTED.
- PROVIDE FIRE SAFING AND SEALANTS PER MFR'S INSTRUCTIONS AT PENETRATION OF ALL WALLS REQUIRING FIRE RESISTANCE AS INDICATED. FIRE RESISTANCE OF FIRE SAFING AND SEALANTS SHALL MEET THAT OF THE WALL IN WHICH PENETRATION OCCURS.
- THE PROJECT SITE IS A NON-SMOKING, TOBACCO FREE SITE, WHICH INCLUDES E-CIGARETTES (VAPING). REFER TO SPECIFICATION SECTION 01 1400 - WORK RESTRICTIONS FOR ADDITIONAL INFORMATION.

ADA REQS:

- WATER CLOSET HEIGHT:
11" TO 19" A.F.F.
- CENTERLINE OF WATER CLOSET:
18" FROM SIDE WALL.
- GRAB BAR BEHIND WATER CLOSET:
36" LONG, 33"-36" AFF.
- GRAB BAR AT SIDE OF WATER CLOSET:
42" MIN. LONG, 33"-36" AFF. VERTICAL BAR
- GRAB BAR DIAMETER:
1-1/4" TO 1-1/2"
- SPACE BETWEEN GRAB AND BAR:
1-1/2"
- TOILET PAPER DISPENSER:
36" FROM REAR WALL, (MAX), 19" MIN AFF.
- KNEE CLEARANCE @ LAVATORY:
AFFRON 29" MIN. HGT, 8" MIN DEPTH.
- LAVATORY DEPTH:
MIN 17" DEPTH.
- LAV. HOT WATER & DRAIN PIPES
INSULATED WHERE EXPOSED.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY
SHALL BE MOUNTED ON EXTERIOR OF ALL
TOILET ROOM DOORS AND ADJACENT
WALL NEXT TO THE LATCH SIDE OF THE
DOOR, 48" AFF.
- LAV. RIM SURFACE:
34" MAX. AFF.
- MIRROR BOTTOM EDGE:
40" MAX. AFF.
- PRIVACY LOCK SHALL HAVE LEVER-
TYPE HANDLES.

CODE REVIEW

2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2015 INTERNATIONAL FUEL GAS CODE (IFGC)
2014 NATIONAL ELECTRICAL CODE (NEC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
(ASHRAE 90.1)
2009 ICC/ANSI 117.1 ACCESSIBLE AND USABLE BUILDINGS &
FACILITIES

OCCUPANCY TYPE (SECTION 304.1) **CONSTRUCTION TYPE**
(SECTION 602.5)
A-3 - ASSEMBLY TYPE V-B

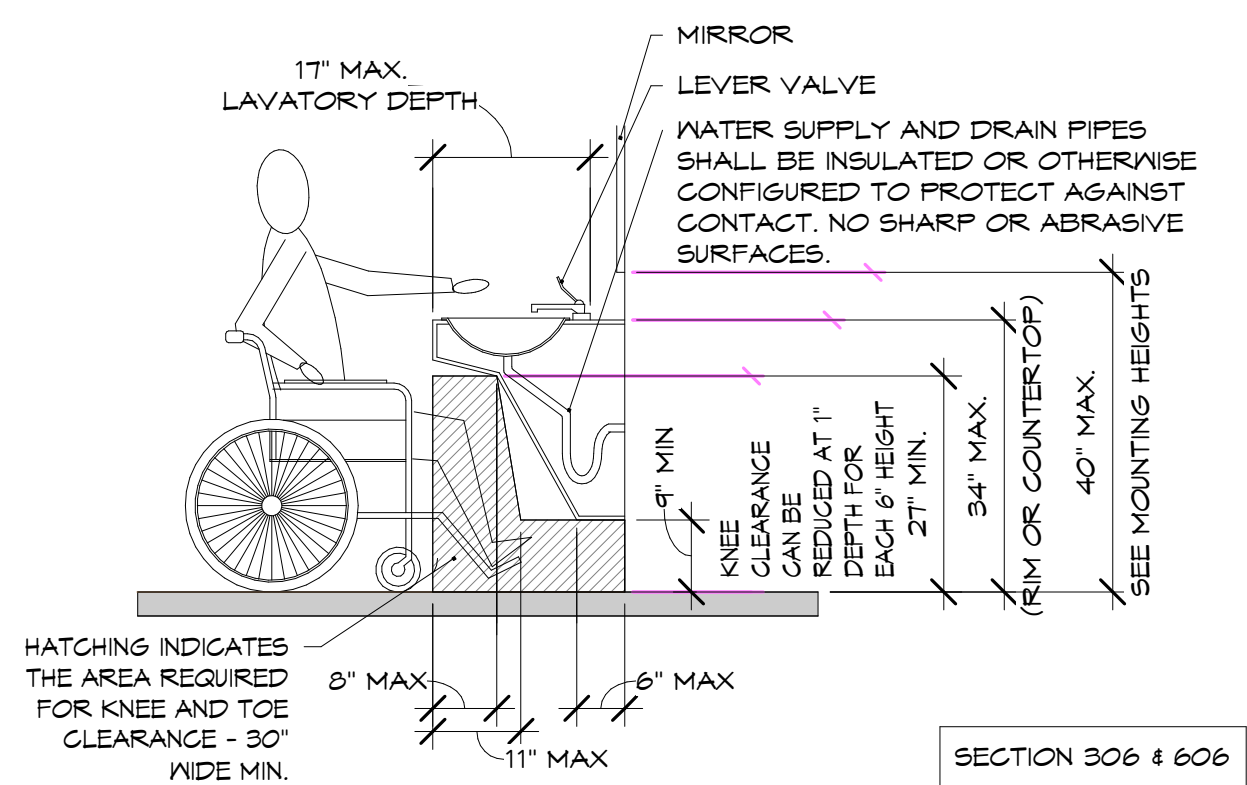
FIRE SPRINKLERS
NOT PROVIDED

OCCUPANT LOAD (SECTION 1004.1.2)
OCCUPANT LOAD FOR AREA OF WORK = BASED ON A-3
OCCUPANCY
TOTAL = 1520 OCCUPANTS

PLUMBING FIXTURES (TABLE 2902.1)
ASSEMBLY: 1520 OCCUPANTS

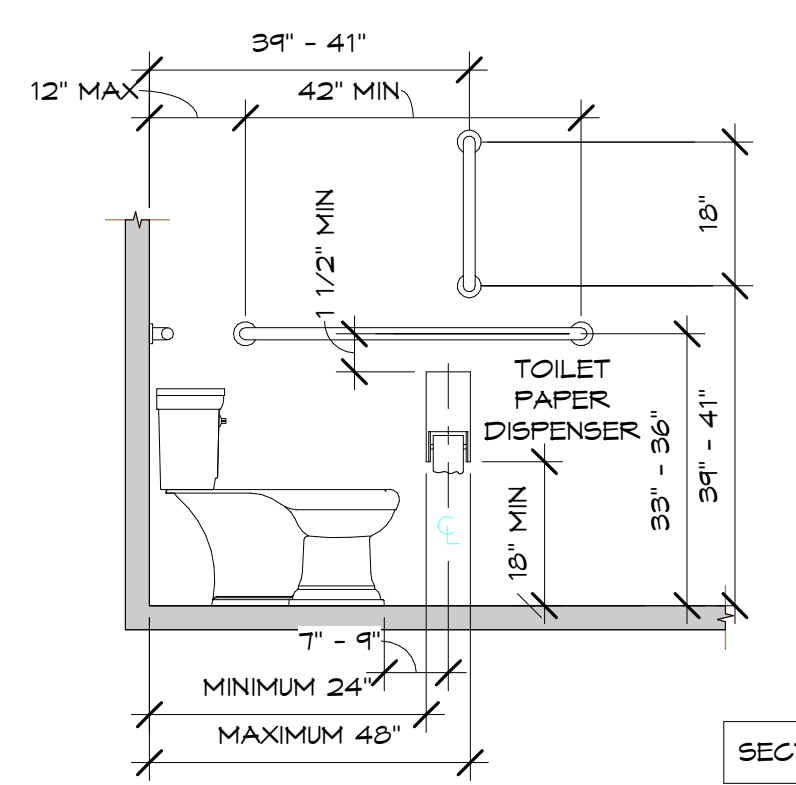
WATER CLOSETS = 4 MWC - MEN & 1/15 WOMEN
LAVATORIES = 1/200 PER GENDER
DRINKING FOUNTAINS = 1/1000
1 SERVICE SINK

FIXTURES PROVIDED:
WATER CLOSETS = 2 MWC & 3 URINALS - MEN; 6 WWC -
WOMEN
LAVATORIES = 4 PROVIDED PER GENDER
DRINKING FOUNTAINS: 4 FOUNTAINS (3 HIGH, 1 LOW)
OTHER = 1 SERVICE SINK EXISTING
FAMILY RESTROOM - 1 MWC & 1 LAV



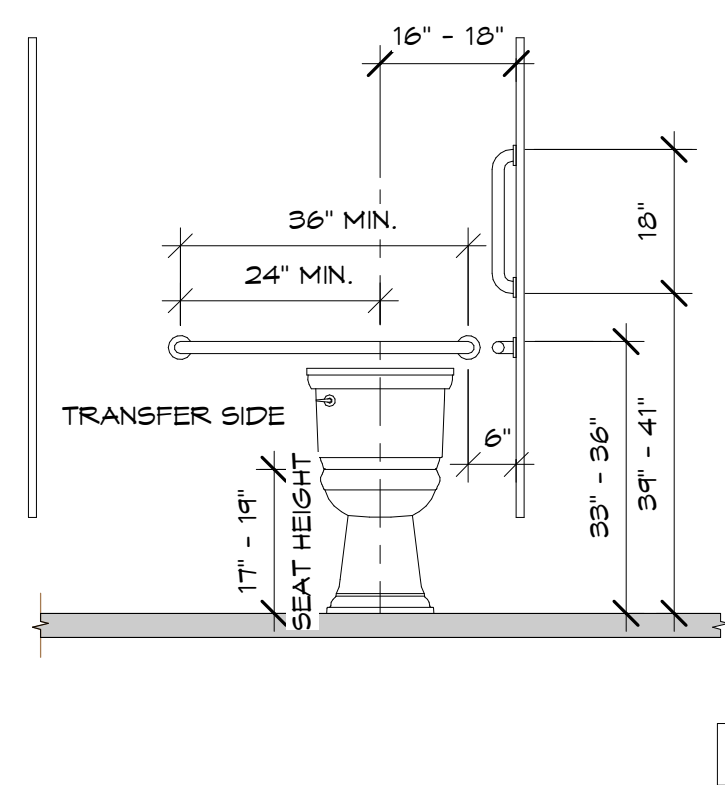
SECTION 306 & 606

6 ADA LAV SIDE
1/2" = 1'-0"



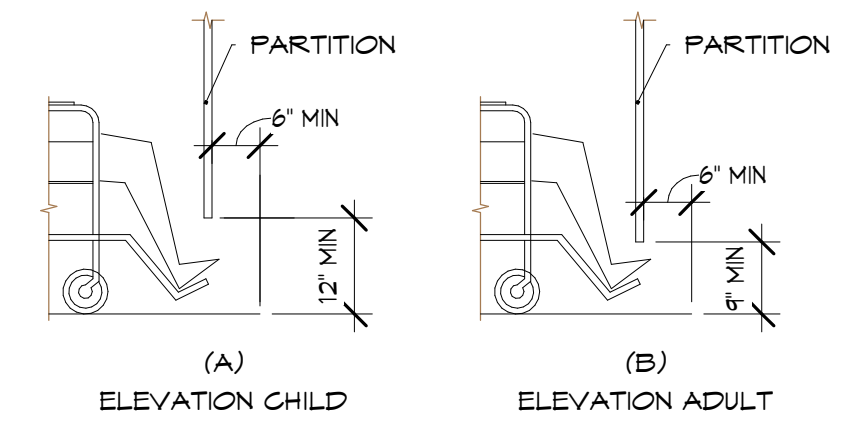
SECTION 603 & 604.9

5 ADA STALL SIDE
1/2" = 1'-0"



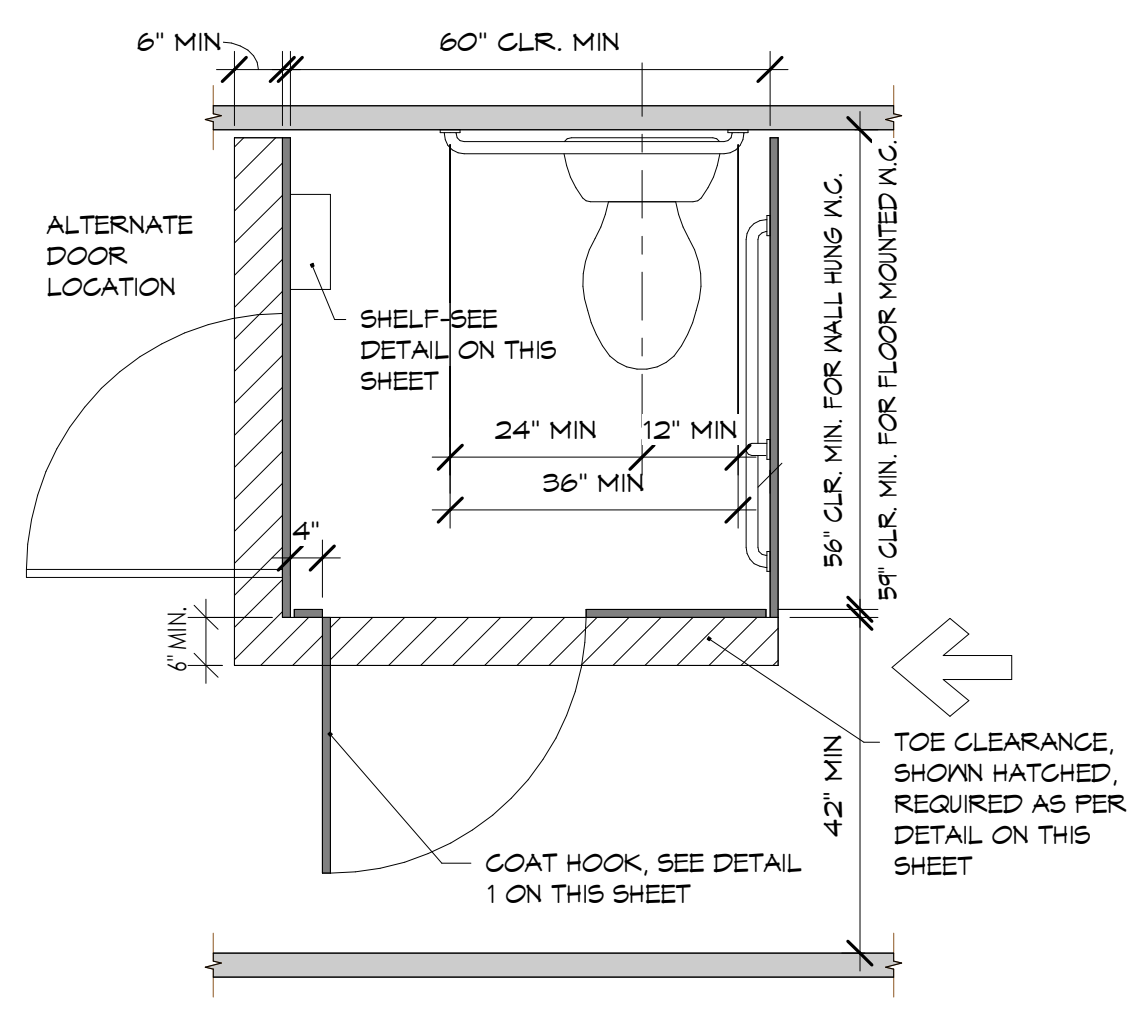
SECTION 603 & 604.9

4 ADA STALL FRONT
1/2" = 1'-0"



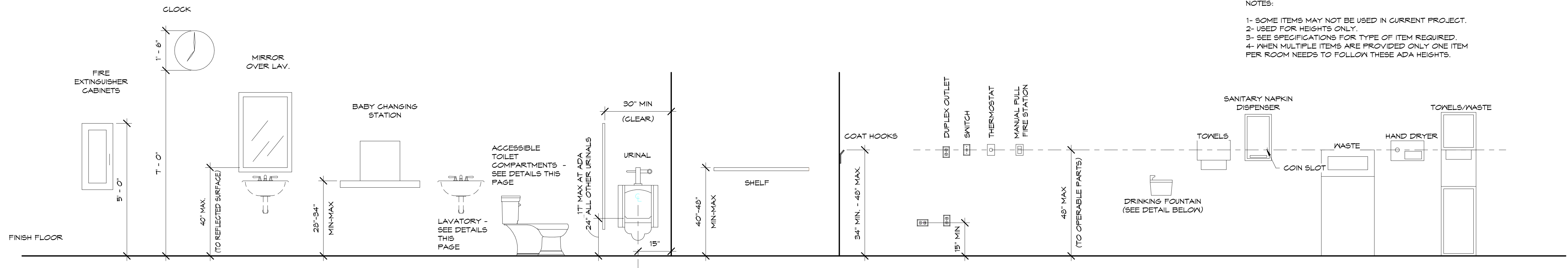
SECTION 604.9

3 ADA TOE CLEARANCE
1/2" = 1'-0"



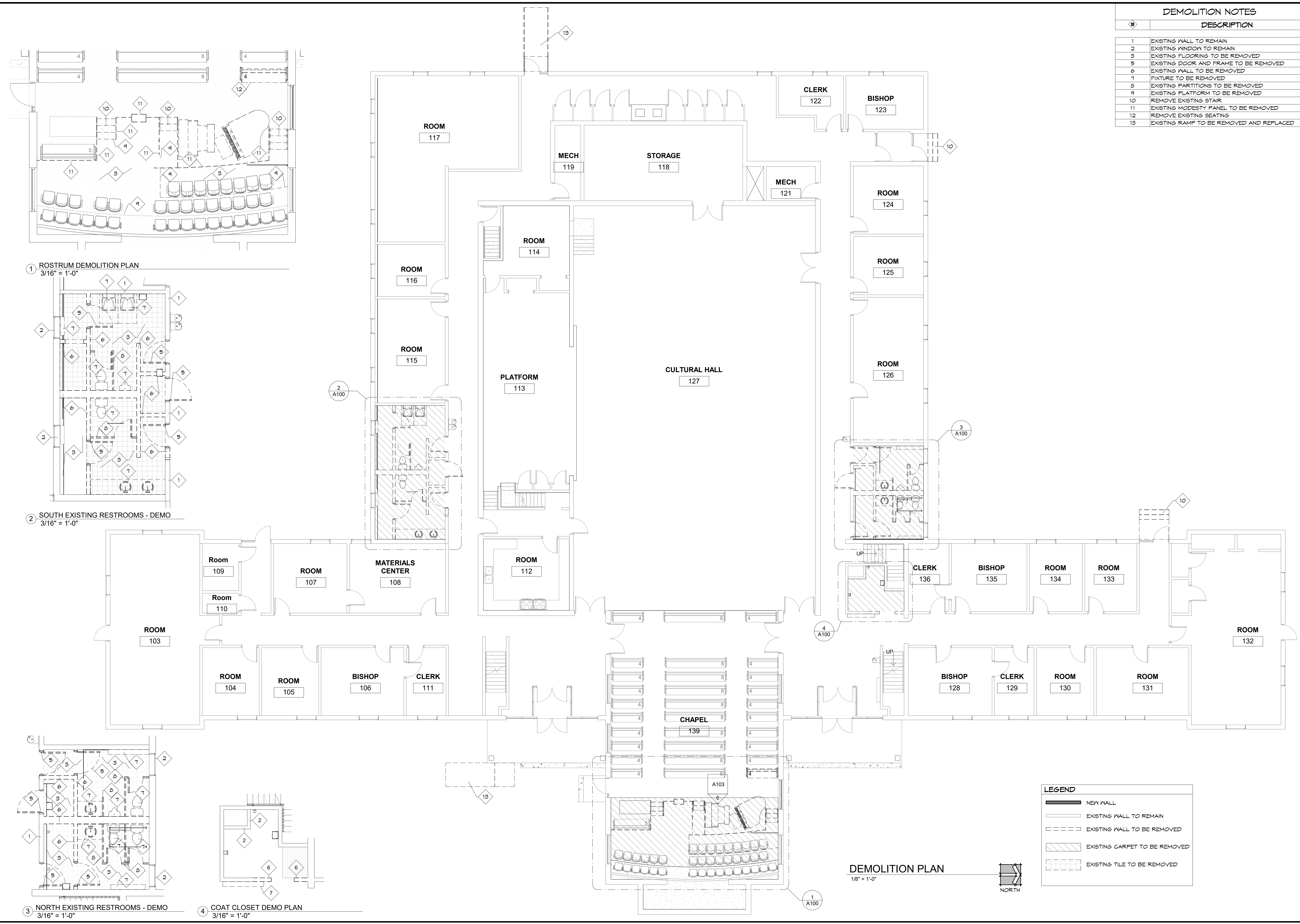
SECTION 603 & 604.9

2 ADA STALL PLAN
1/2" = 1'-0"



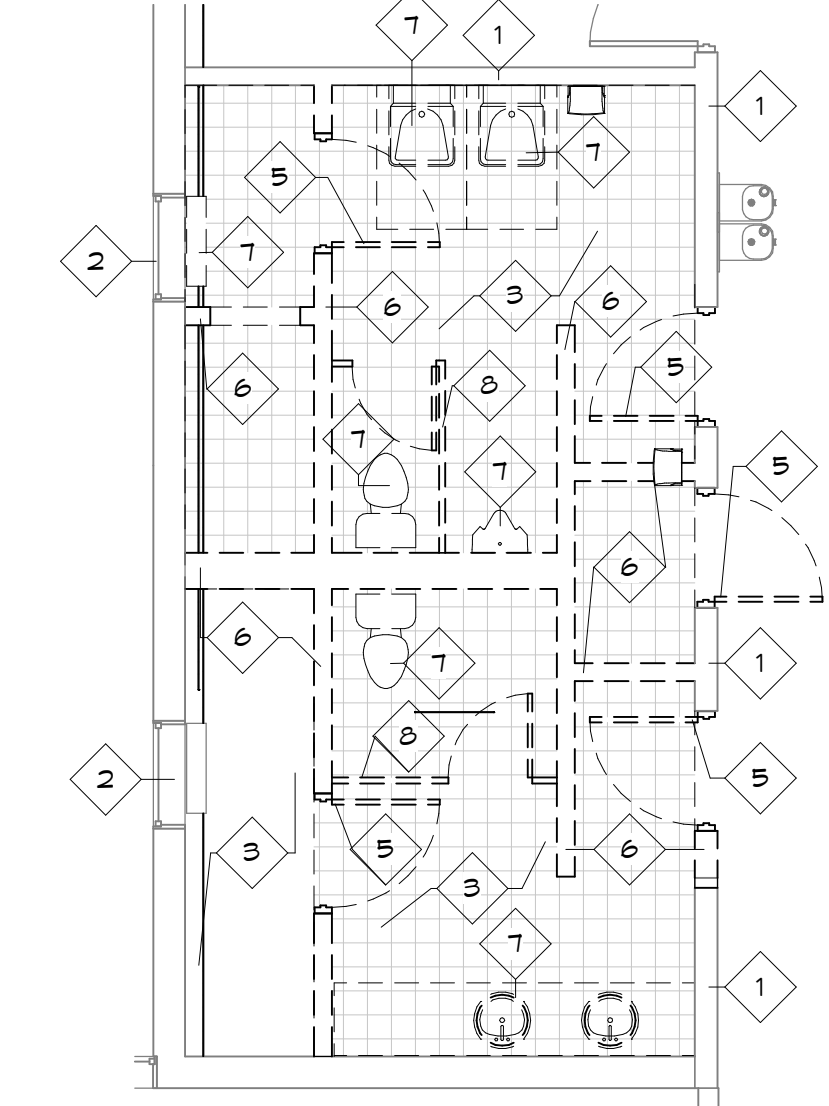
1 TYPICAL MOUNTING HEIGHTS
1/2" = 1'-0"

NOTES:
1- SOME ITEMS MAY NOT BE USED IN CURRENT PROJECT.
2- USED FOR HEIGHTS ONLY.
3- SEE SPECIFICATIONS FOR TYPE OF ITEM REQUIRED.
4- WHEN MULTIPLE ITEMS ARE PROVIDED ONLY ONE ITEM PER ROOM NEEDS TO FOLLOW THESE ADA HEIGHTS.

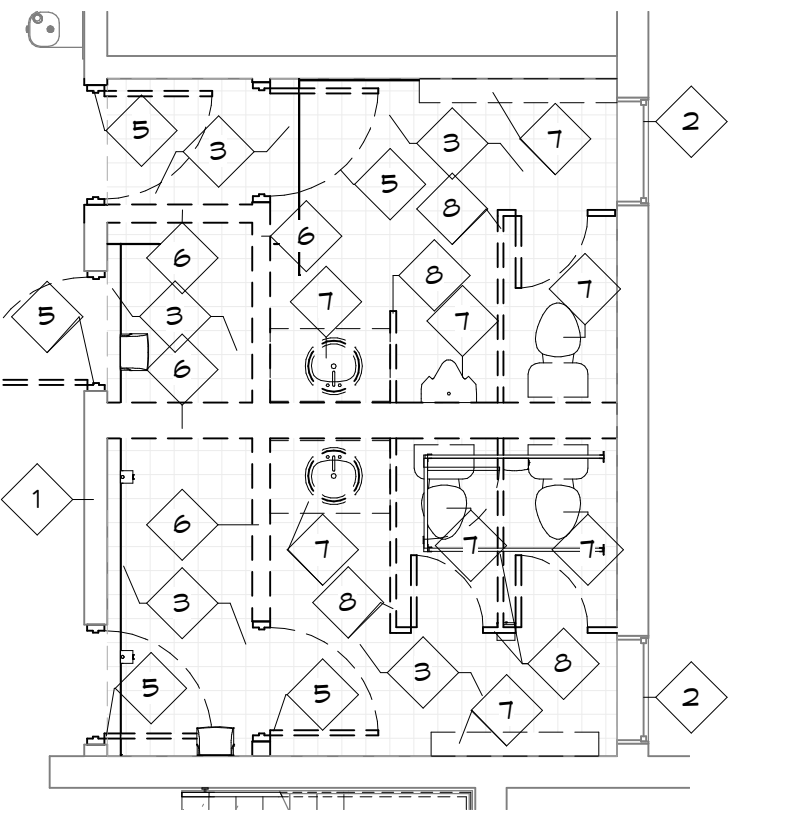
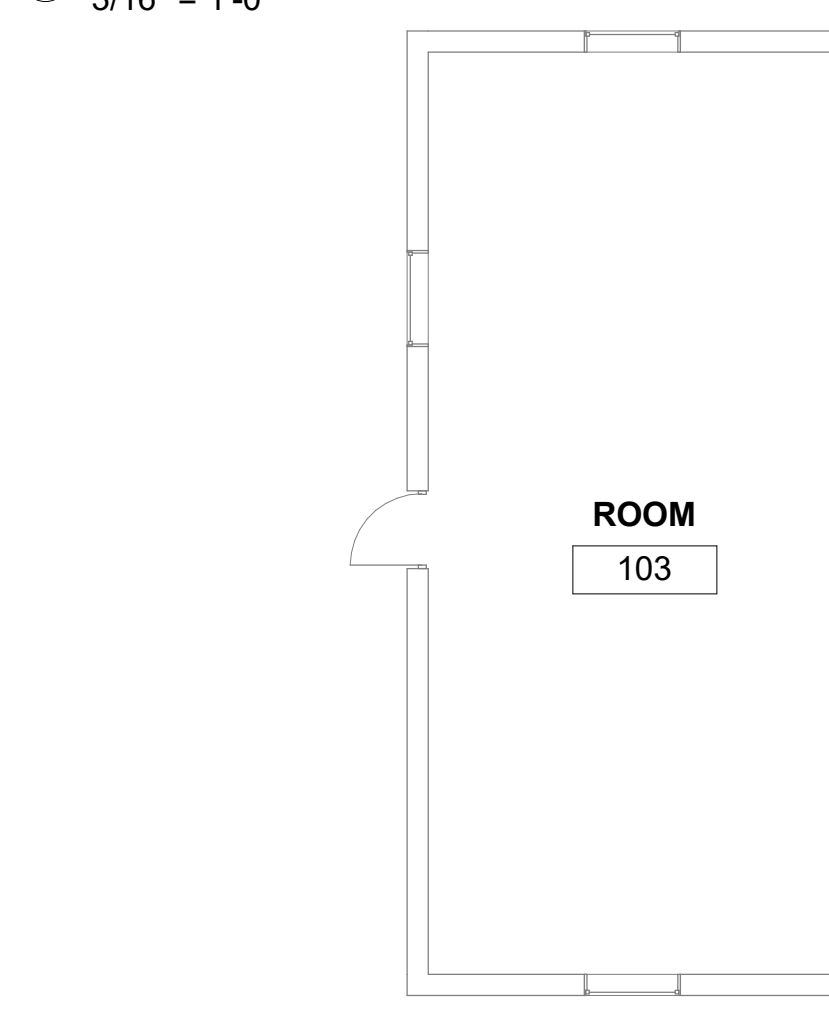


DEMOLITION NOTES	
NO.	DESCRIPTION
1	EXISTING WALL TO REMAIN
2	EXISTING WINDOW TO REMAIN
3	EXISTING FLOORING TO BE REMOVED
5	EXISTING DOOR AND FRAME TO BE REMOVED
6	EXISTING WALL TO BE REMOVED
7	FIXTURE TO BE REMOVED
8	EXISTING PARTITIONS TO BE REMOVED
9	EXISTING PLATFORM TO BE REMOVED
10	REMOVE EXISTING STAIR
11	EXISTING MODESTY PANEL TO BE REMOVED
12	REMOVE EXISTING SEATING
13	EXISTING RAMP TO BE REMOVED AND REPLACED

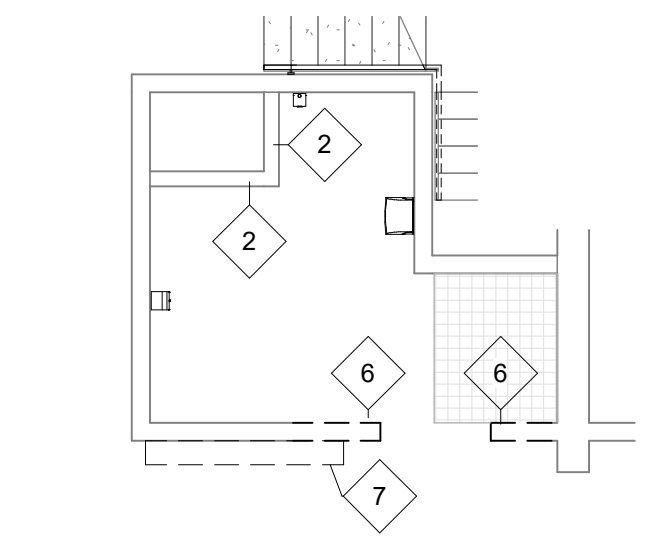
1 ROSTRUM DEMOLITION PLAN
3/16" = 1'-0"



2 SOUTH EXISTING RESTROOMS - DEMO
3/16" = 1'-0"



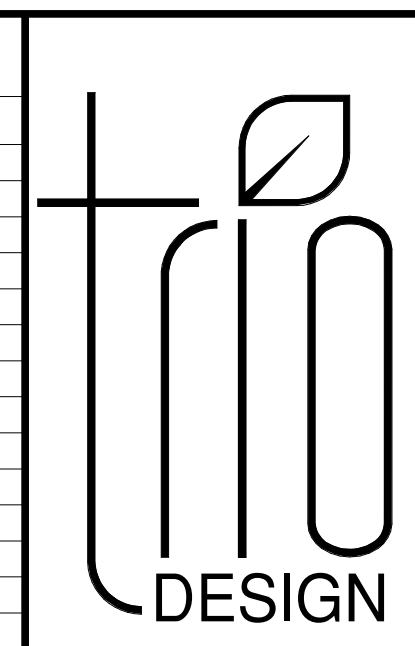
3 NORTH EXISTING RESTROOMS - DEMO
3/16" = 1'-0"



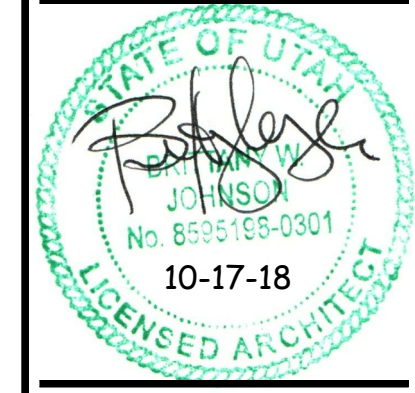
4 COAT CLOSET DEMO PLAN
3/16" = 1'-0"

LEGEND	
	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING CARPET TO BE REMOVED
	EXISTING TILE TO BE REMOVED

DEMOLITION PLAN
1/8" = 1'-0"
NORTH



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50 SOUTH 750 WEST, OREM UTAH

Project For:
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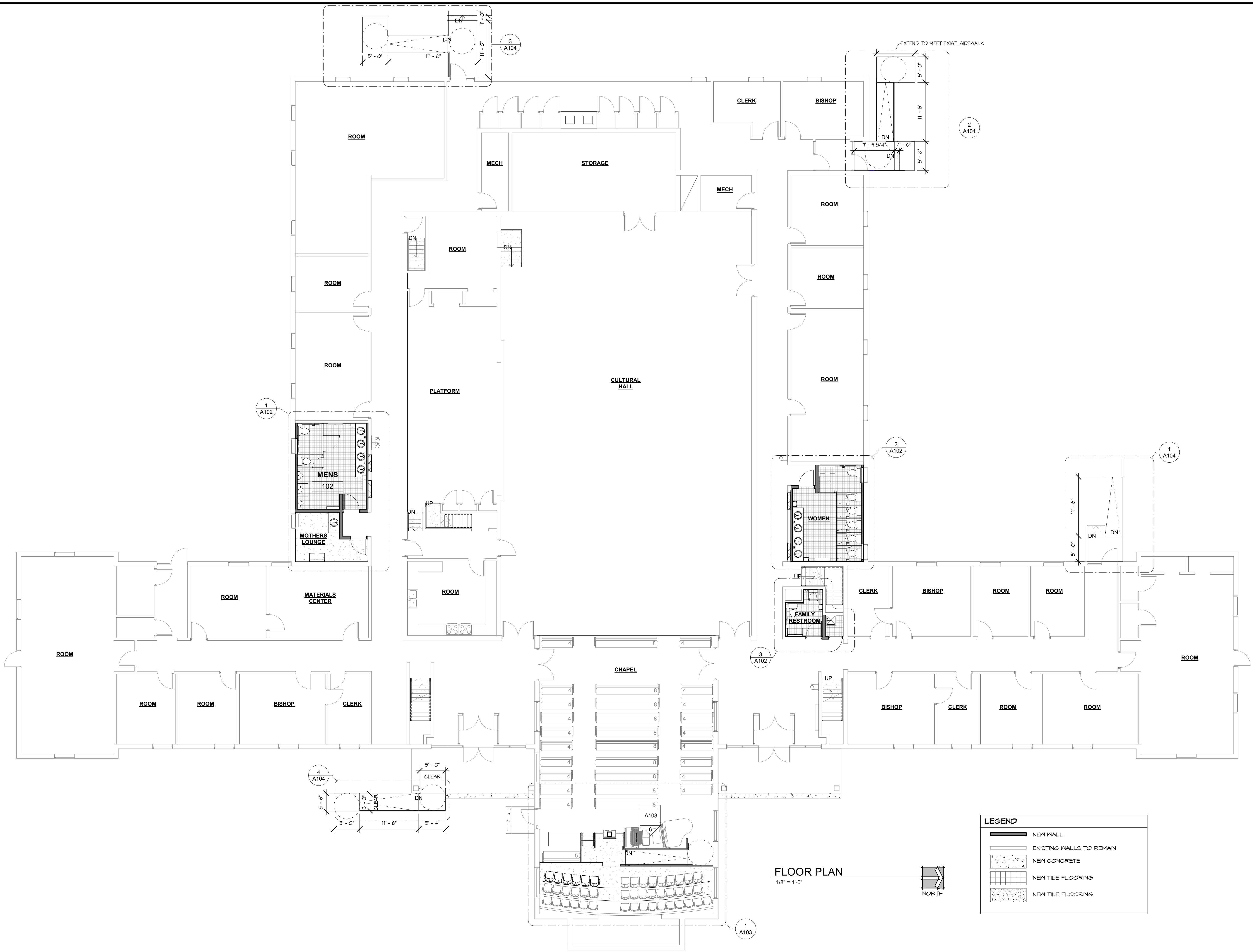
Revisions:

Date:
17 OCT. 2018

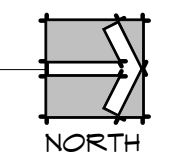
Project Number:
505-0693

Sheet Title:
**DEMOLITION
PLAN**

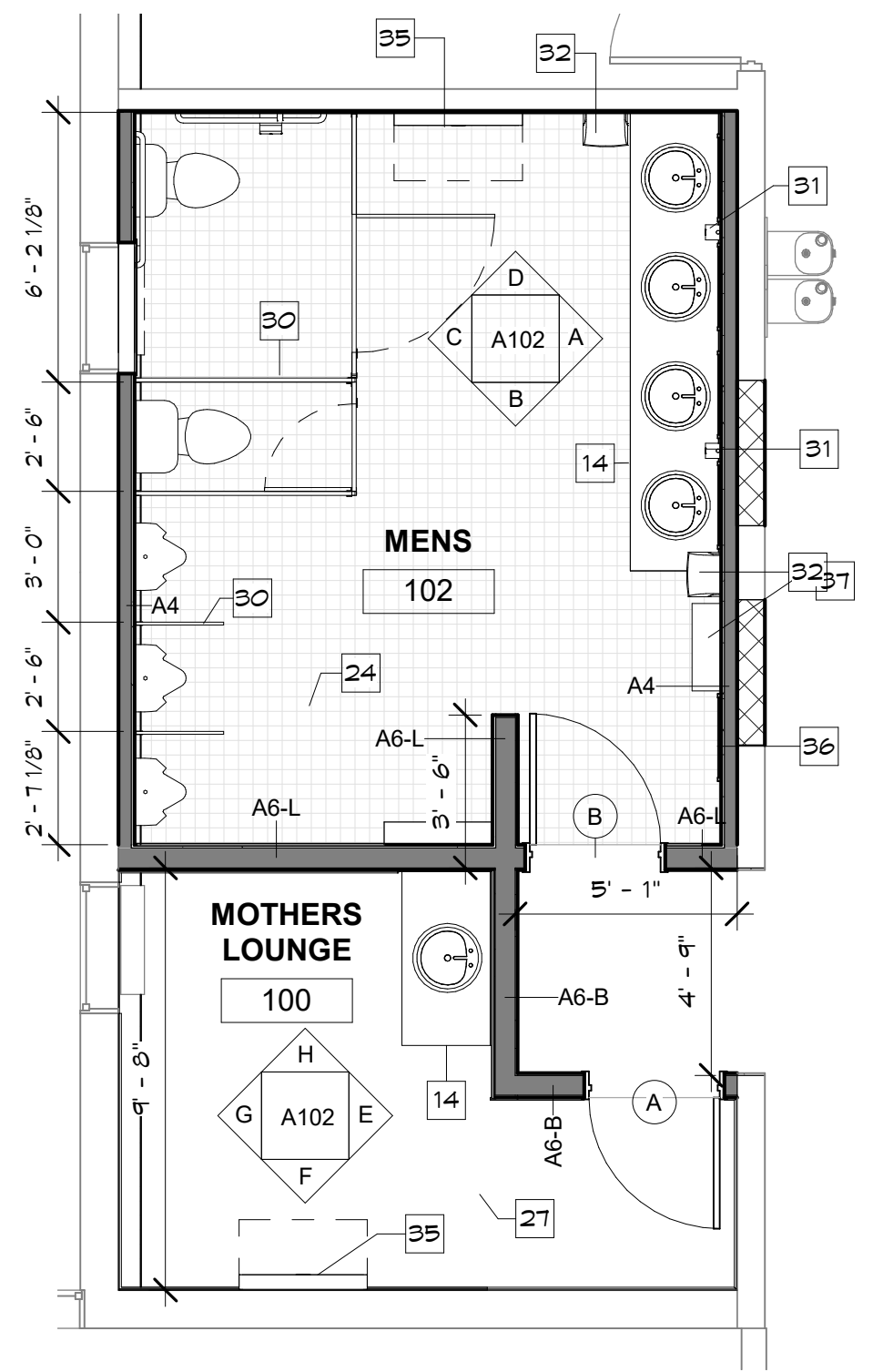
Sheet No.:
A100



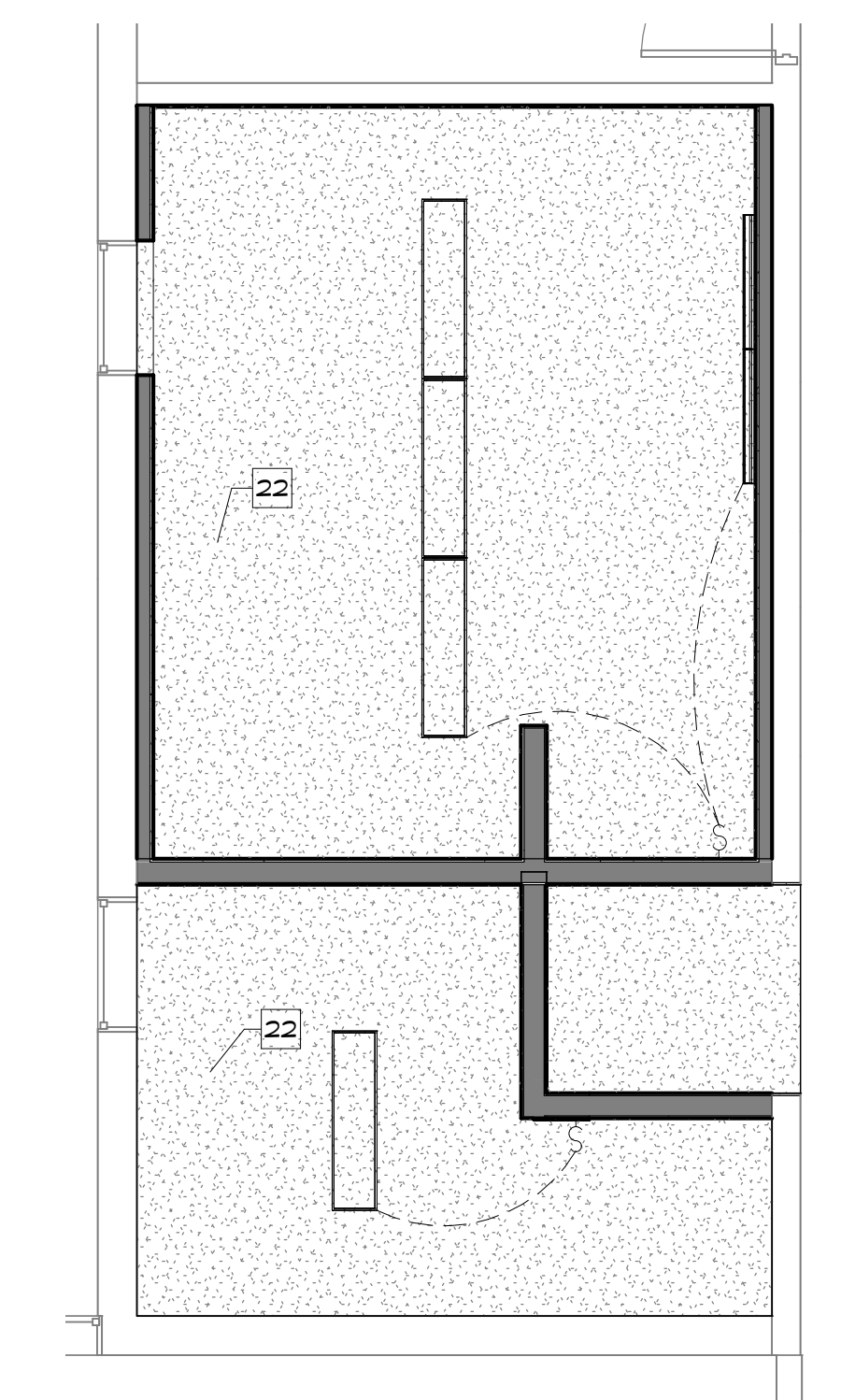
FLOOR PLAN
1/8" = 1'-0"



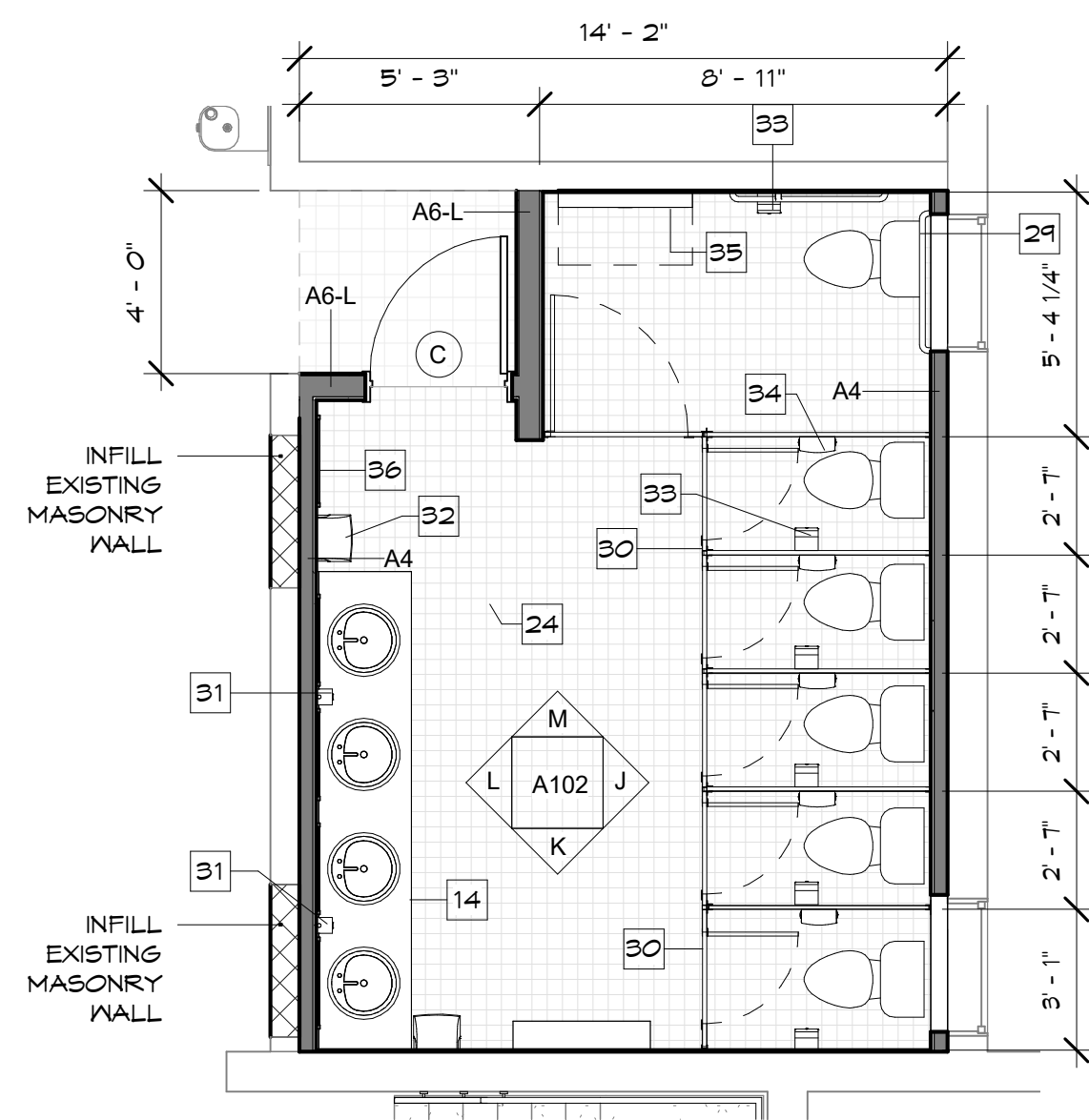
LEGEND	
	NEW WALL
	EXISTING WALLS TO REMAIN
	NEW CONCRETE
	NEW TILE FLOORING
	NEW TILE FLOORING



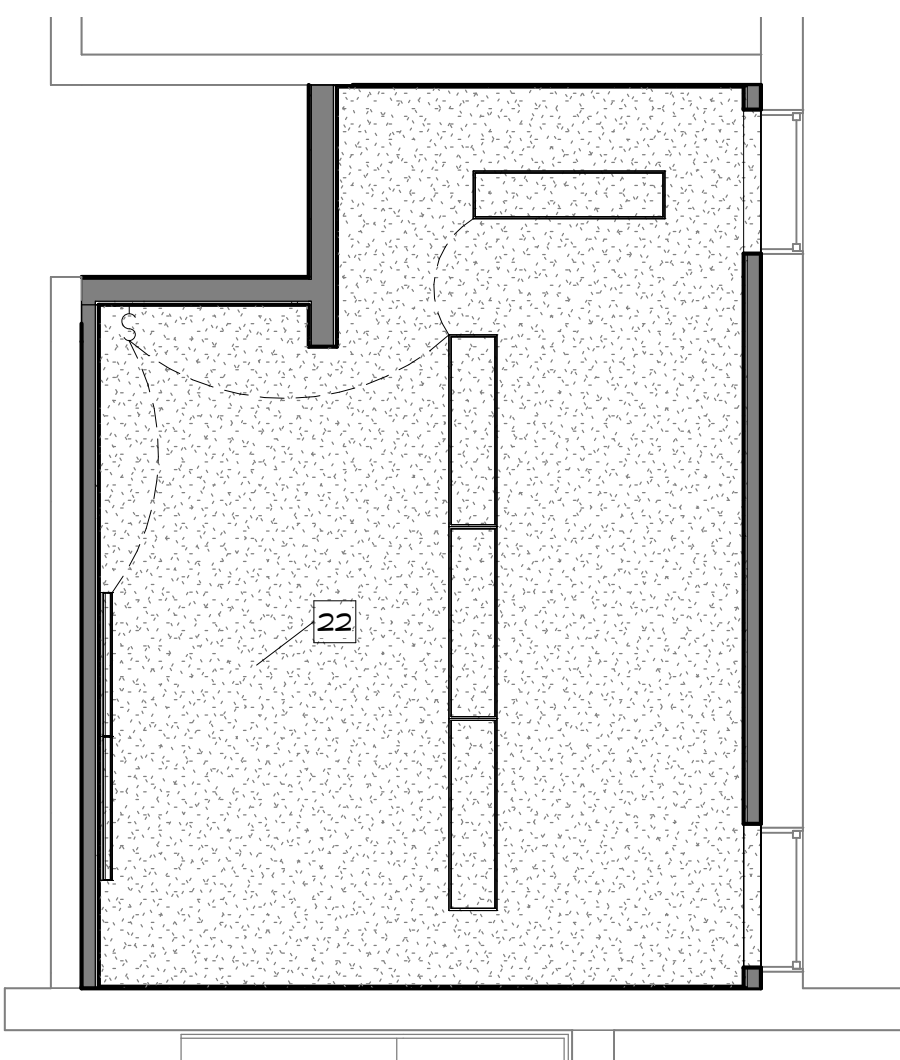
1 MEN
1/4" = 1'-0"



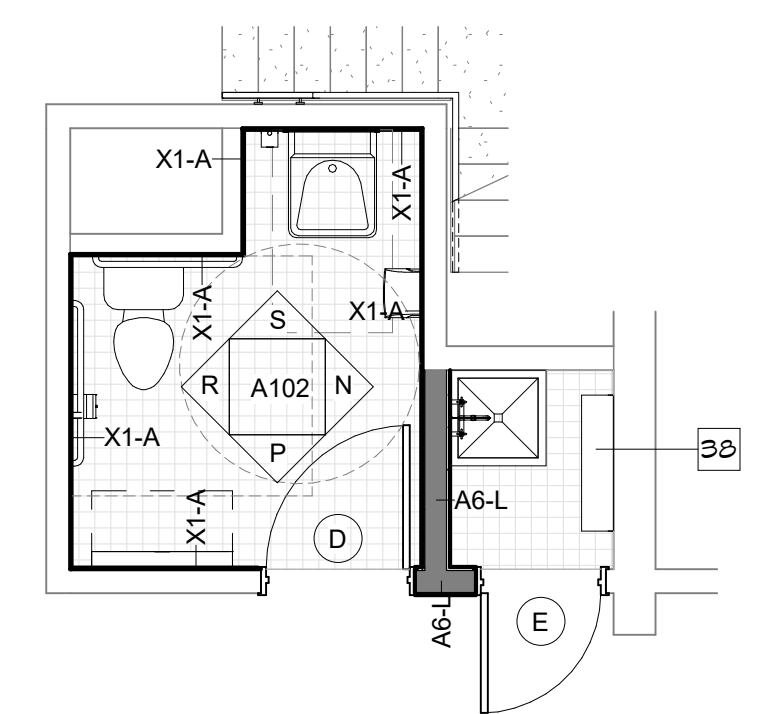
4 MENS REFLECTED CEILING PLAN
1/4" = 1'-0"



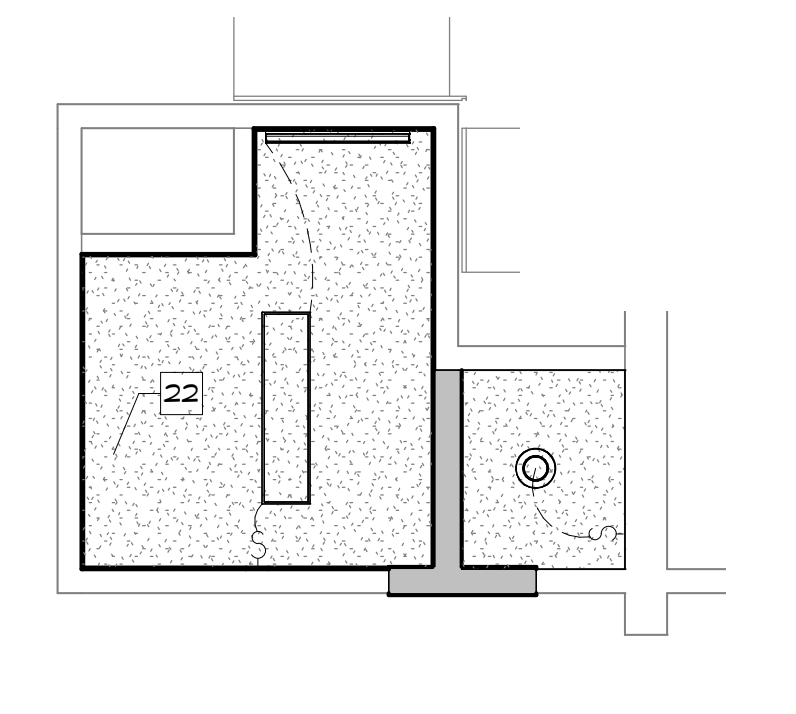
2 WOMEN
1/4" = 1'-0"



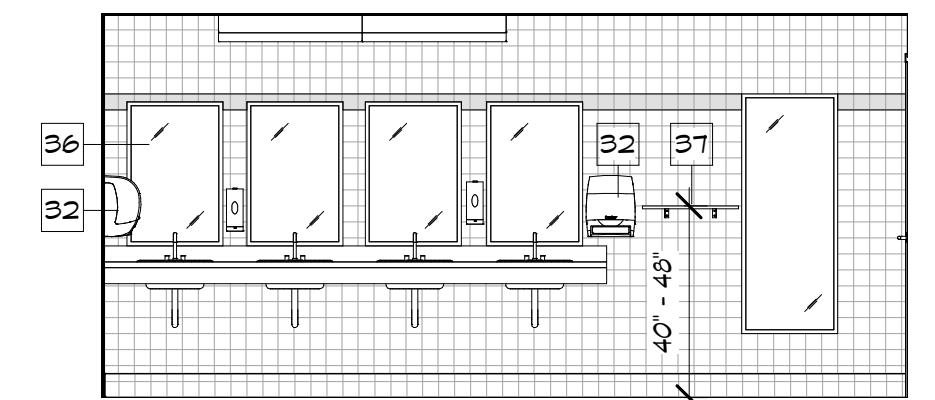
5 WOMEN REFLECTED CEILING PLAN
1/4" = 1'-0"



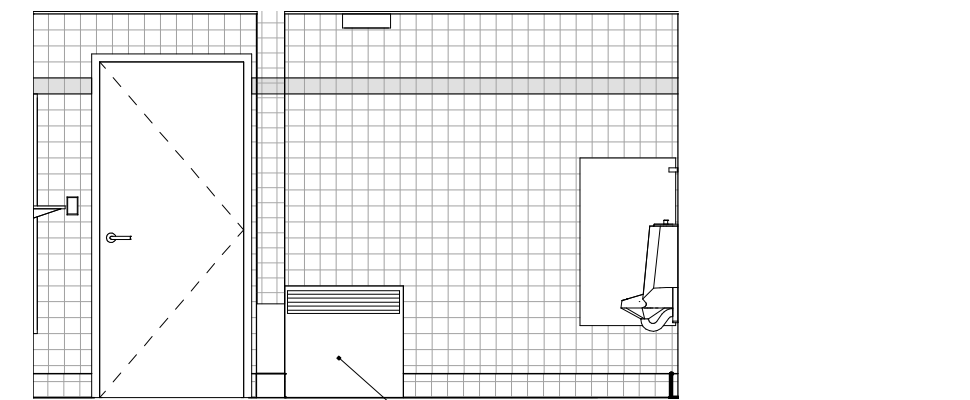
3 FAMILY RESTROOM
1/4" = 1'-0"



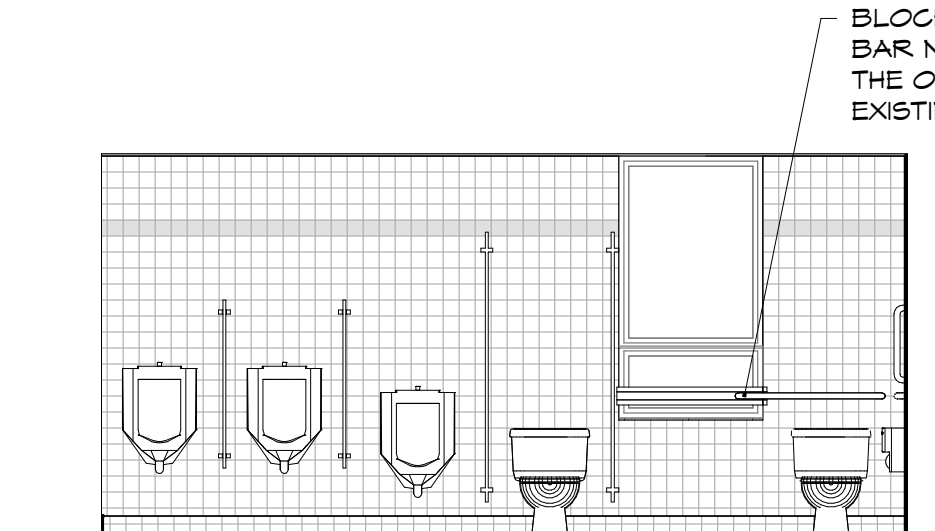
6 FAMILY RESTROOM REFLECTED CEILING PLAN
1/4" = 1'-0"



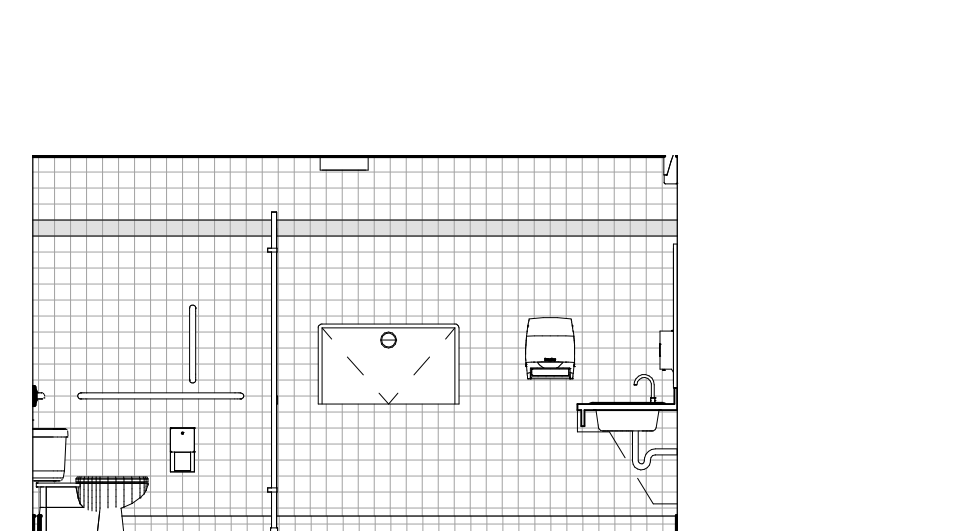
A MENS - NORTH
1/4" = 1'-0"



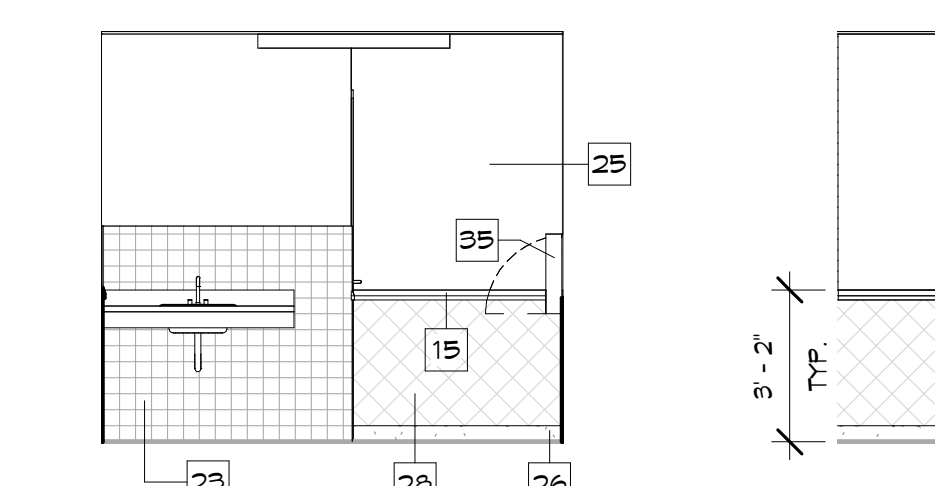
B MENS - EAST
1/4" = 1'-0"



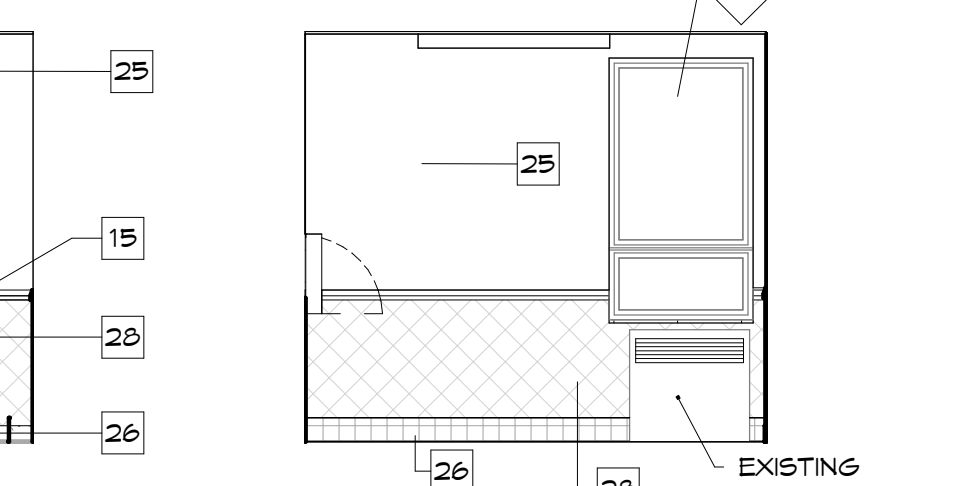
C MENS - SOUTH
1/4" = 1'-0"



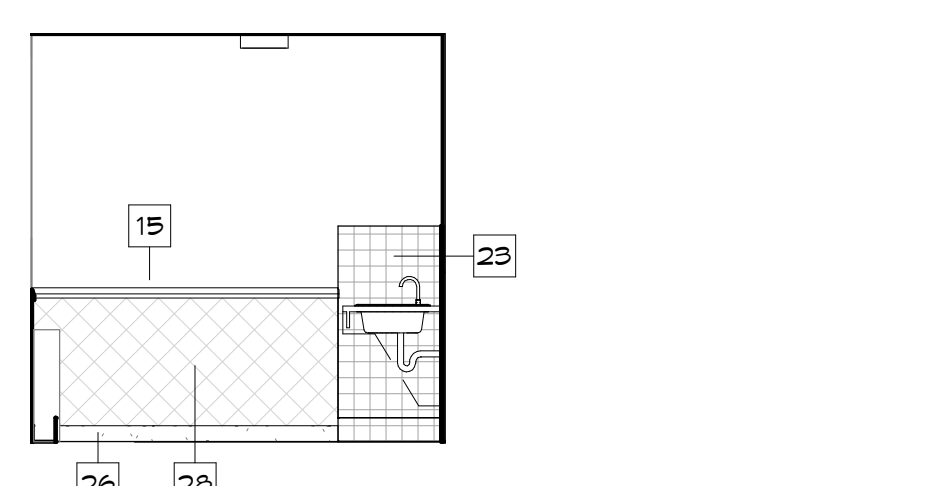
D MENS - WEST
1/4" = 1'-0"



E MOTHER'S ROOM - NORTH
1/4" = 1'-0"



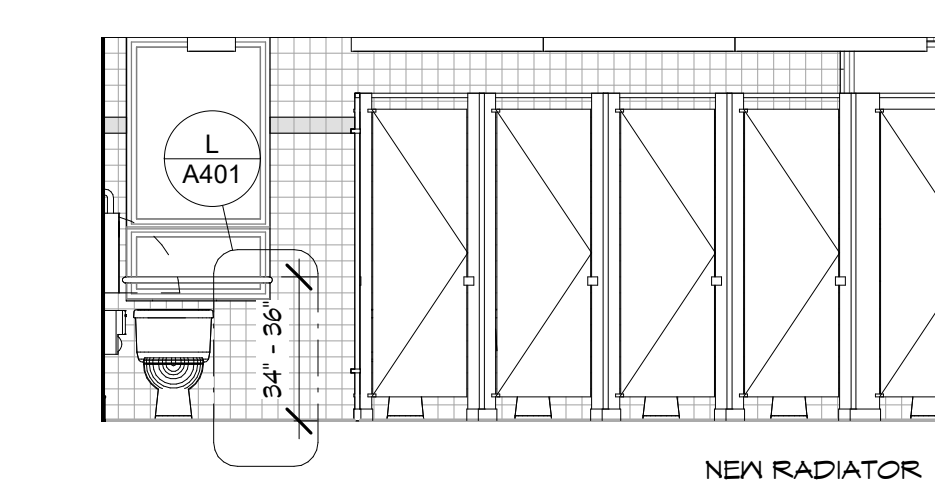
F MOTHER'S ROOM - EAST
1/4" = 1'-0"



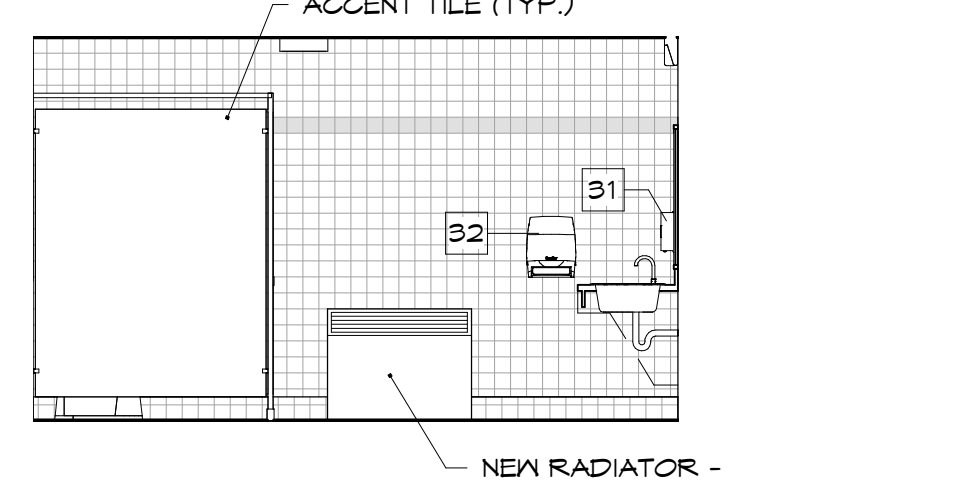
G MOTHER'S ROOM - SOUTH
1/4" = 1'-0"



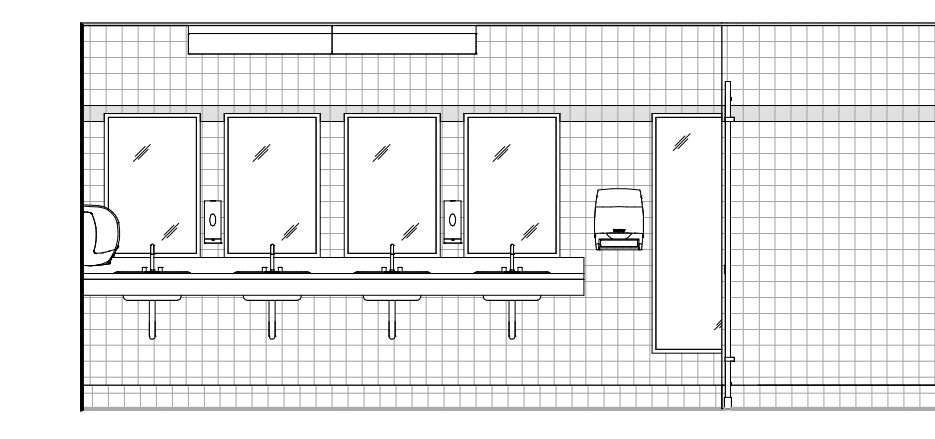
H MOTHER'S ROOM - WEST
1/4" = 1'-0"



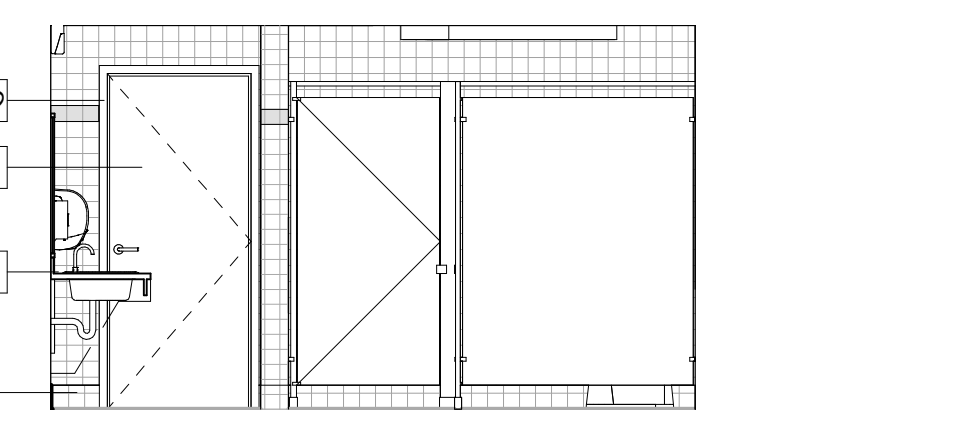
J WOMENS - NORTH
1/4" = 1'-0"



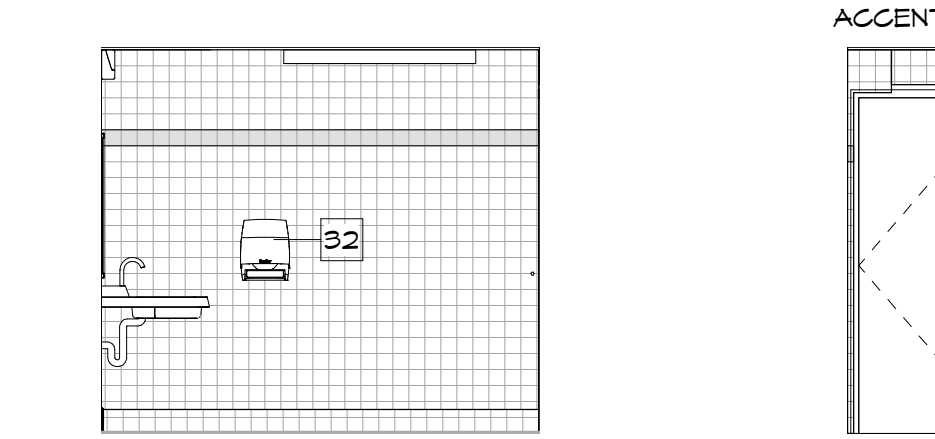
K WOMENS - EAST
1/4" = 1'-0"



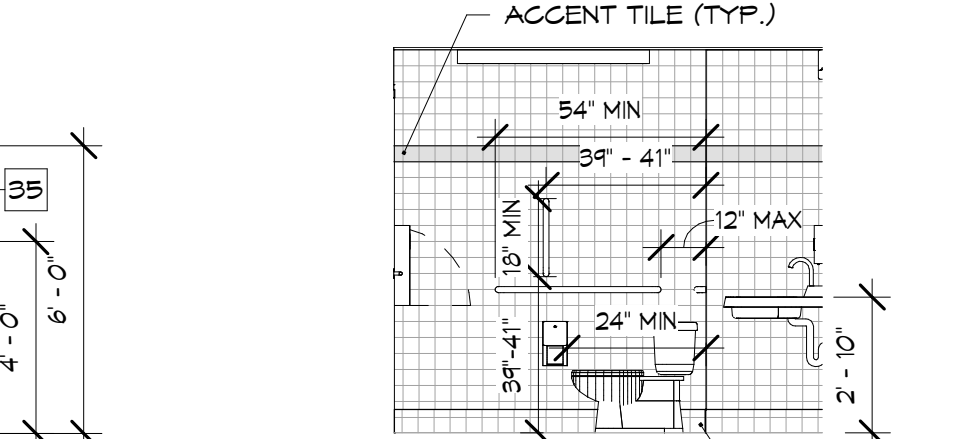
L WOMENS - SOUTH
1/4" = 1'-0"



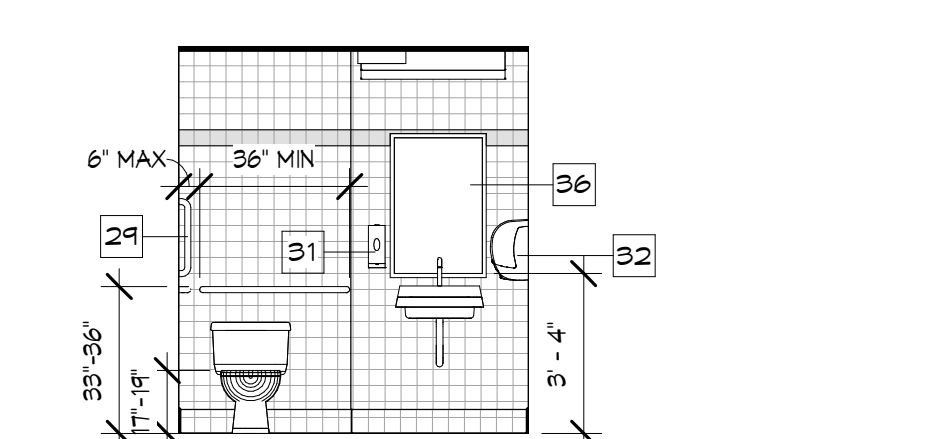
M WOMENS - WEST
1/4" = 1'-0"



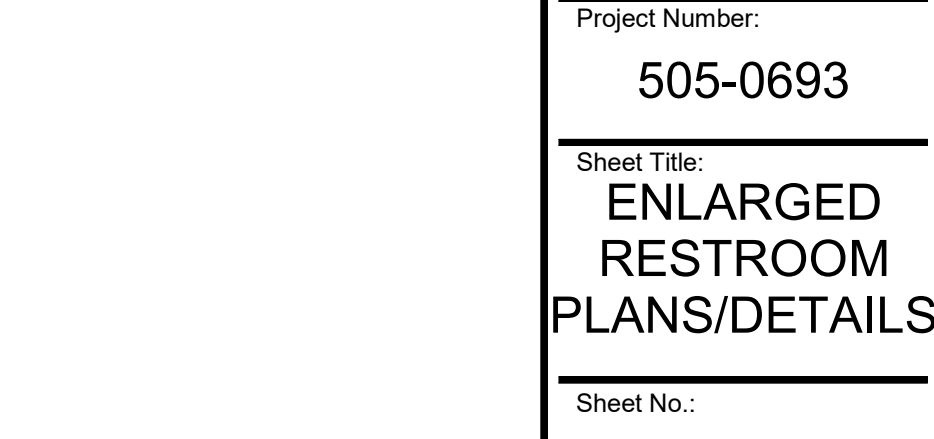
N FAMILY - NORTH
1/4" = 1'-0"



P FAMILY - EAST
1/4" = 1'-0"

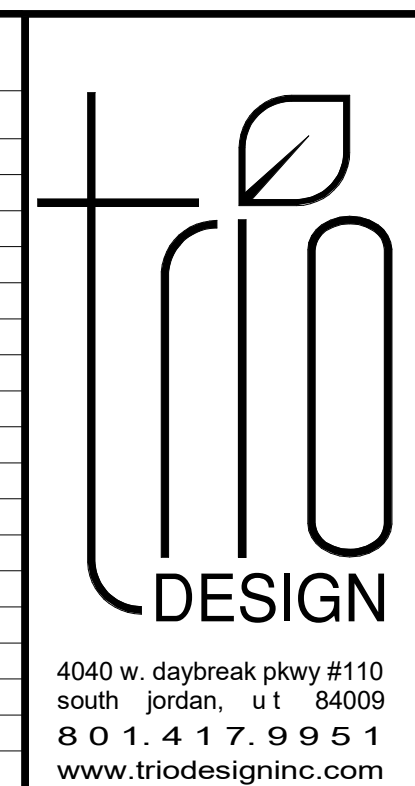


R FAMILY - SOUTH
1/4" = 1'-0"

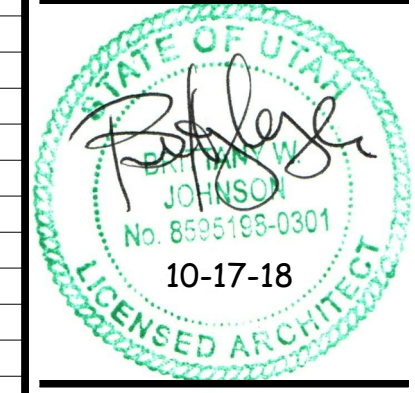


S FAMILY - WEST
1/4" = 1'-0"

KEYNOTES	
#	DESCRIPTION
1	RELOCATED EQUIPMENT
2	CONCRETE REPLACEMENT
3	CONCRETE STEPS
4	CONCRETE RAMP
5	CONCRETE SLAB-ON-GRADE
6	PRESSURE TREATED SOLE PLATE
7	2x4 FRAMING @ 16" O.C.
8	2x6 FRAMING @ 12" O.C.
9	NEW PULPIT
10	FLOOR SHEATHING
11	3/4" PANEL PRODUCT
12	WALL SHEATHING
13	JOIST HANGER
14	PLASTIC LAMINATE COUNTERTOP
15	HARDWOOD CHAIRRAIL
16	HARDWOOD TRIM
17	HARDWOOD RAILING
18	EXISTING PLATFORM FRAMING TO REMAIN
19	FIBERGLASS CAVITY INSULATION
20	HOLLOW METAL FRAME
21	FLUSH WOOD DOOR
22	GYPSUM CEILING
23	CERAMIC WALL TILE
24	PAVER FLOOR TILE
25	INTERIOR PAINTED GYPSUM BOARD
26	CARPET BASE
27	SHEET CARPET
28	SISAL WALL COVERING
29	GRAB BARS
30	METAL TOILET COMPARTMENT
31	SOAP DISPENSER N.I.C.
32	TOYEL DISPENSER N.I.C.
33	DOUBLE ROLL TOILET PAPER DISPENSER
34	SANITARY NAPKIN DISPOSAL UNIT
35	BABY CHANGING STATION
36	MIRROR WITH ALUMINUM FRAME
37	METAL SHELF
38	MOP RACK
39	NEW SEATING
41	FRAMED ADA RAMP



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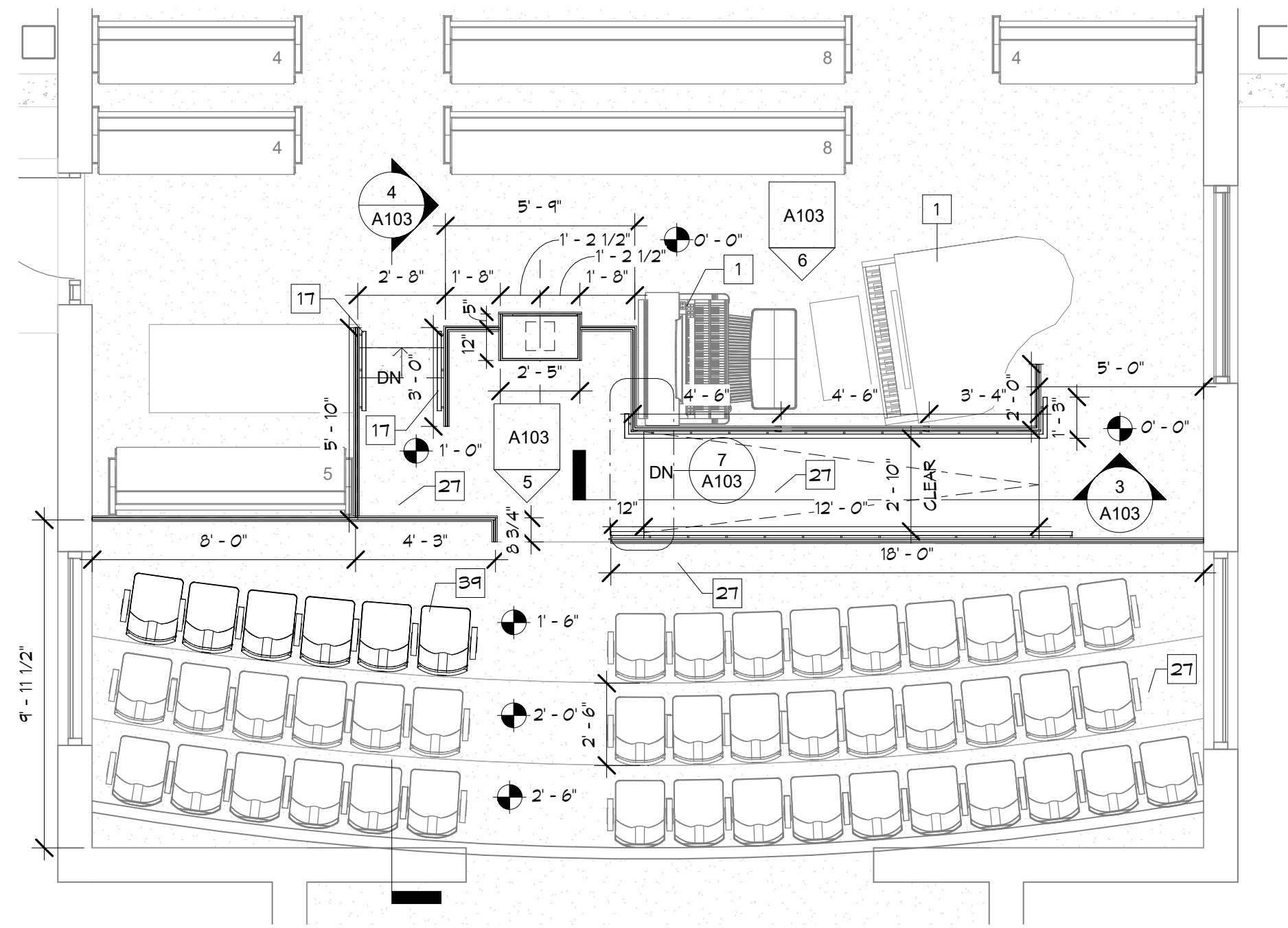
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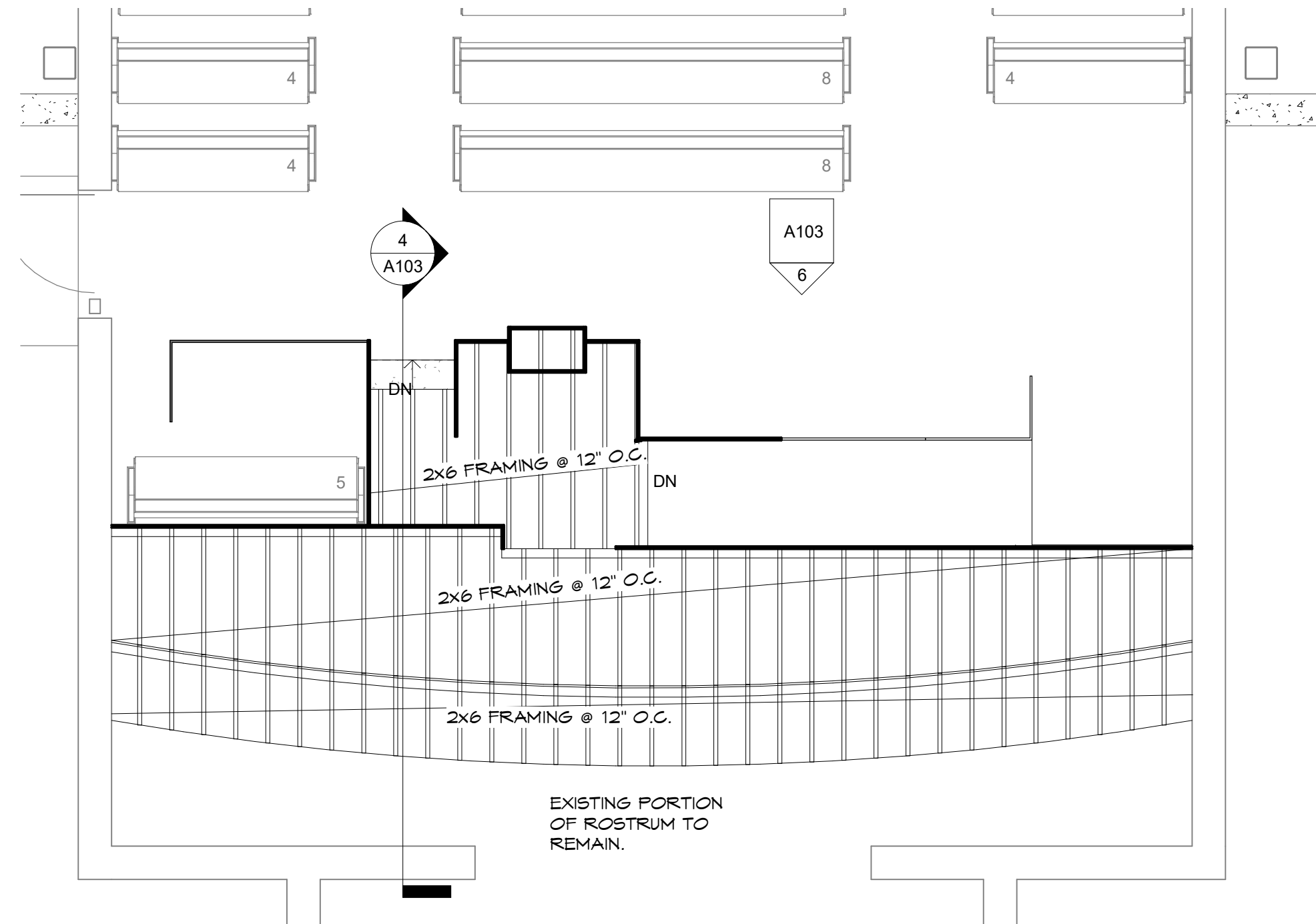
**ENLARGED
RESTROOM
PLANS/DETAILS**

Sheet No.:

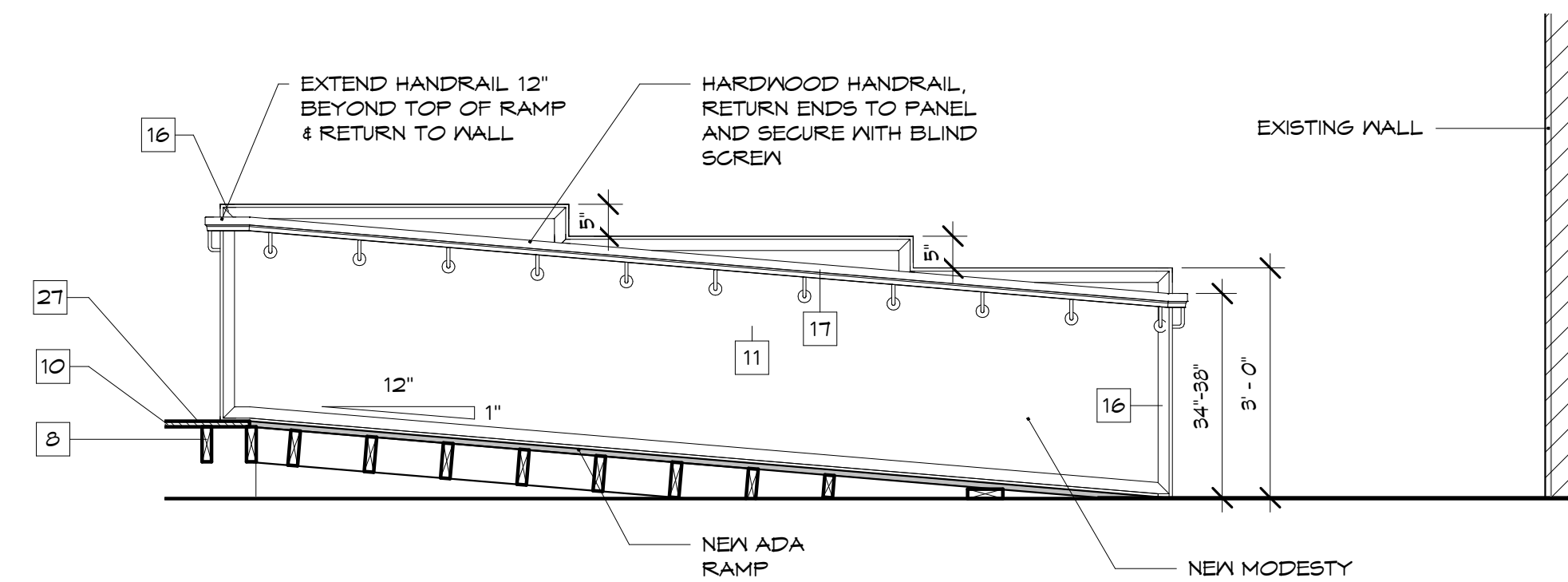
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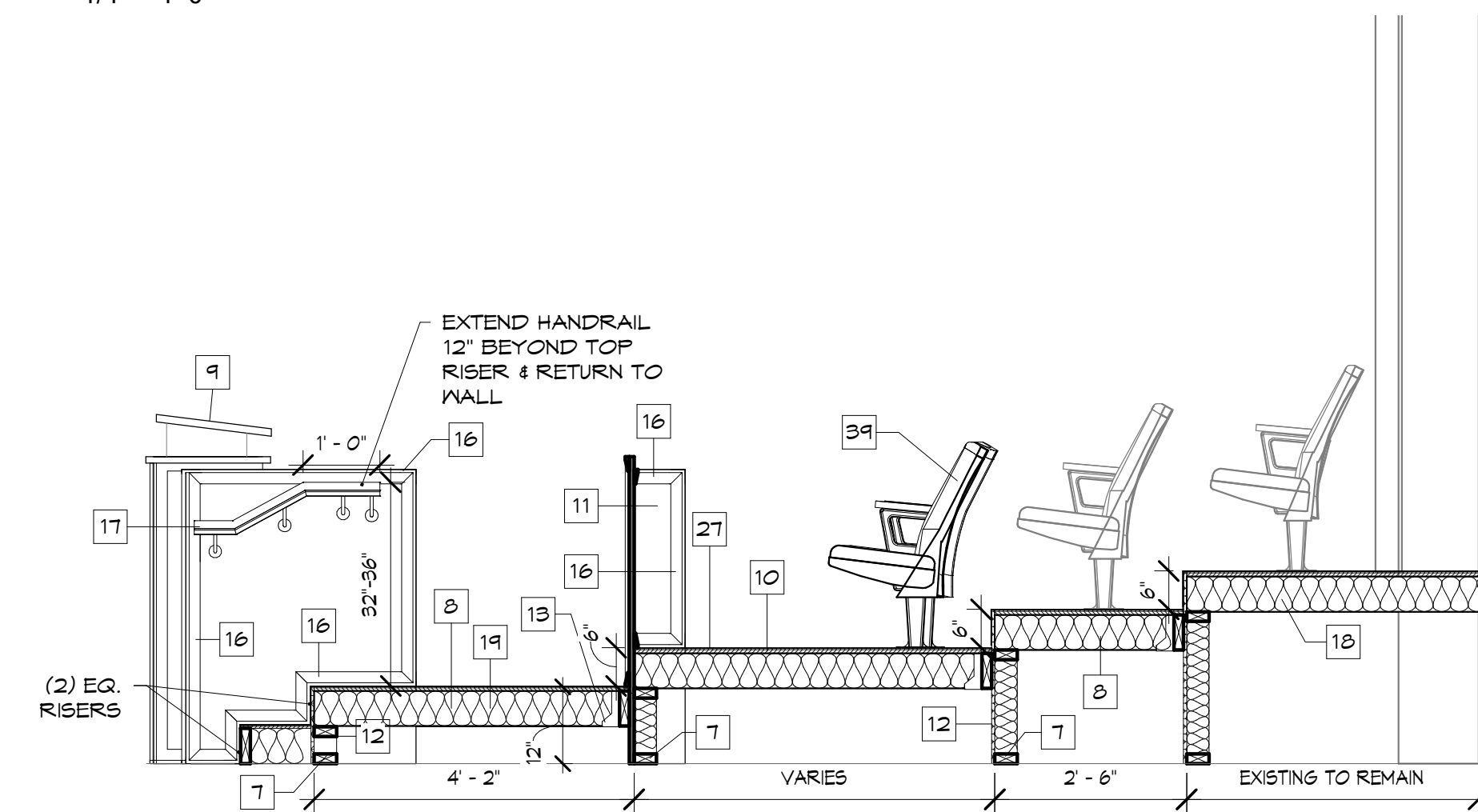
1 ROSTRUM
1/4" = 1'-0"



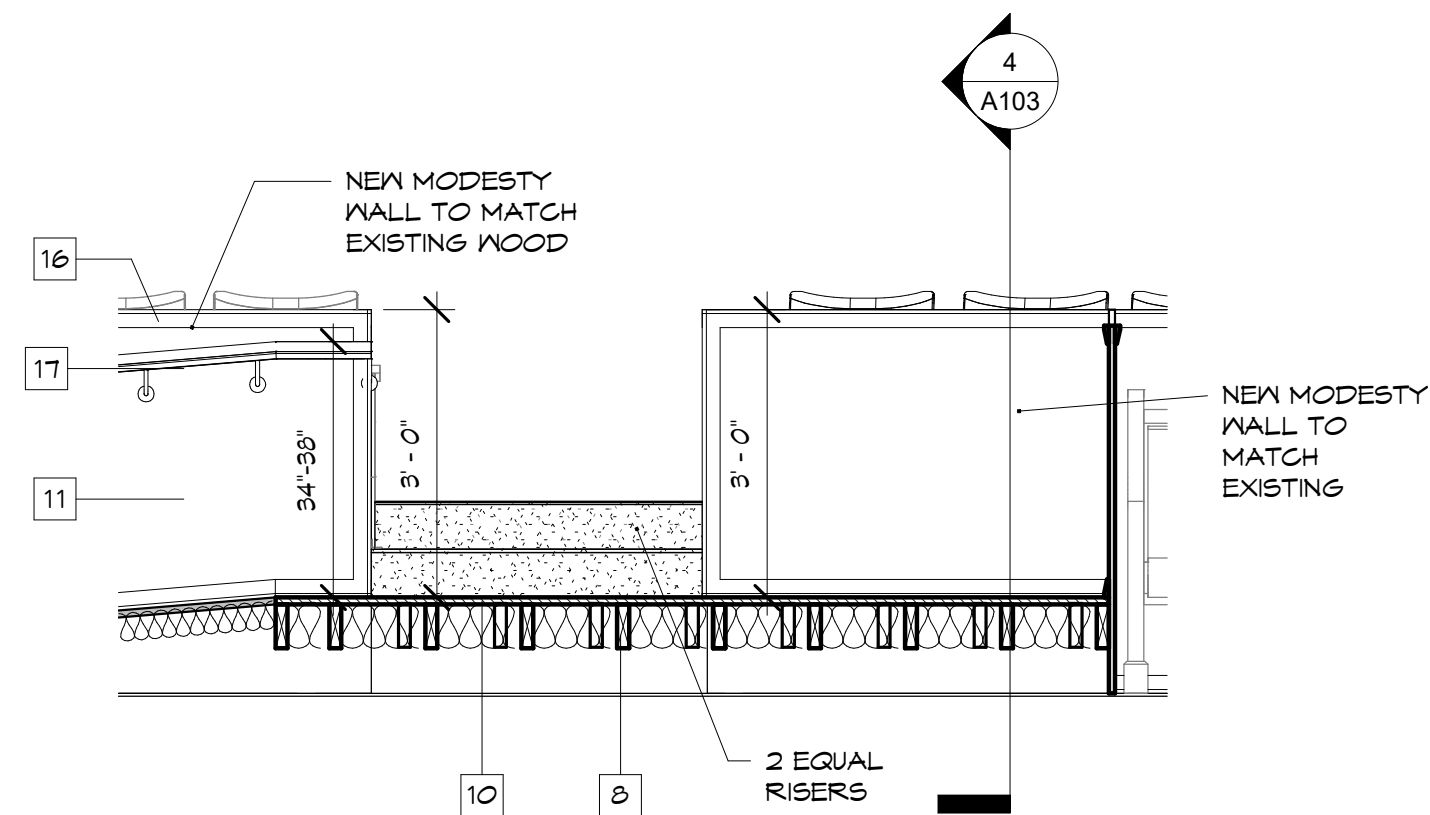
2 ROSTRUM FRAMING PLAN
1/4" = 1'-0"



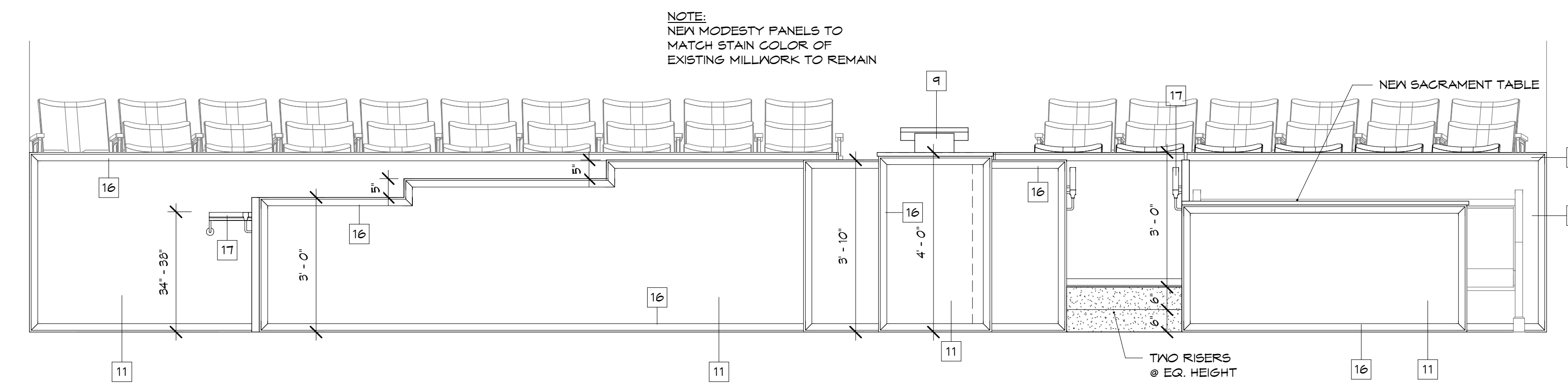
3 ADA RAMP SECTION
1/2" = 1'-0"



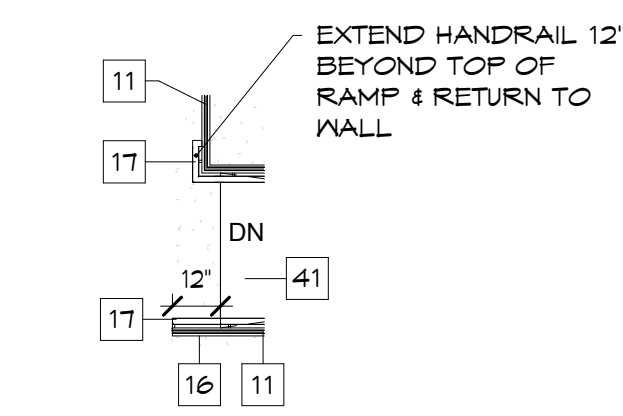
4 ROSTRUM PLATFORM SECTION
1/2" = 1'-0"



5 Elevation 4 - a
1/2" = 1'-0"



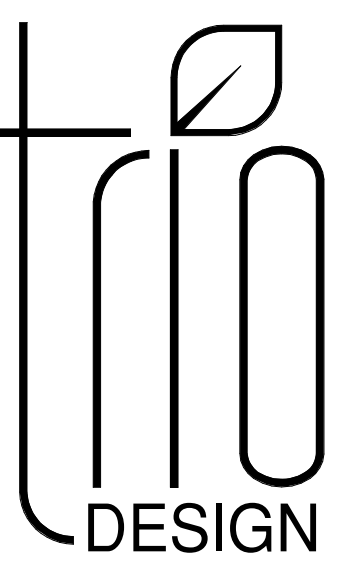
6 ROSTRUM ELEVATION
1/2" = 1'-0"



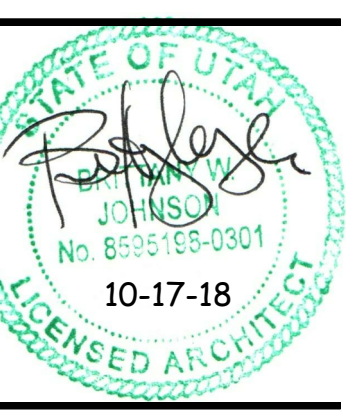
7 ROSTRUM - RAMP RAILING
1/4" = 1'-0"

DEMOLITION NOTES	
#	DESCRIPTION
1	EXISTING WALL TO REMAIN
2	EXISTING WINDOW TO REMAIN
3	EXISTING FLOORING TO BE REMOVED
5	EXISTING DOOR AND FRAME TO BE REMOVED
6	EXISTING WALL TO BE REMOVED
7	FIXTURE TO BE REMOVED
8	EXISTING PARTITIONS TO BE REMOVED
9	EXISTING PLATFORM TO BE REMOVED
10	REMOVE EXISTING STAIR
11	EXISTING MODESTY PANEL TO BE REMOVED
12	REMOVE EXISTING SEATING
13	EXISTING RAMP TO BE REMOVED AND REPLACED

KEYNOTES	
#	DESCRIPTION
1	RELOCATED EQUIPMENT
2	CONCRETE REPLACEMENT
3	CONCRETE STEPS
4	CONCRETE RAMP
5	CONCRETE SLAB-ON-GRADE
6	PRESSURE TREATED SOLE PLATE
7	2x4 FRAMING @ 16' O.C.
8	2x6 FRAMING @ 12' O.C.
9	NEW PULPIT
10	FLOOR SHEATHING
11	3/4" PANEL PRODUCT
12	WALL SHEATHING
13	JOIST HANGER
14	PLASTIC LAMINATE COUNTERTOP
15	HARDWOOD CHAIRRAIL
16	HARDWOOD TRIM
17	HARDWOOD RAILING
18	EXISTING PLATFORM FRAMING TO REMAIN
19	FIBERGLASS CAVITY INSULATION
20	HOLLOW METAL FRAME
21	FLUSH WOOD DOOR
22	GYPSUM CEILING
23	CERAMIC WALL TILE
24	PAVER FLOOR TILE
25	INTERIOR PAINTED GYPSUM BOARD
26	CARPET BASE
27	SHEET CARPET
28	SIGNAL WALL COVERING
29	GRAB BARS
30	METAL TOILET COMPARTMENT
31	SOAP DISPENSER N.I.C.
32	TOWEL DISPENSER N.I.C.
33	DOUBLE ROLL TOILET PAPER DISPENSER
34	SANITARY NAPKIN DISPOSAL UNIT
35	BABY CHANGING STATION
36	MIRROR WITH ALUMINUM FRAME
37	METAL SHELF
38	MOP RACK
39	NEW SEATING
41	FRAMED ADA RAMP



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Project Name:
**PARK 1, 4, 10
RESTROOM & ADA UPGRADES**
50 SOUTH 750 WEST, OREM UTAH

Project For:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

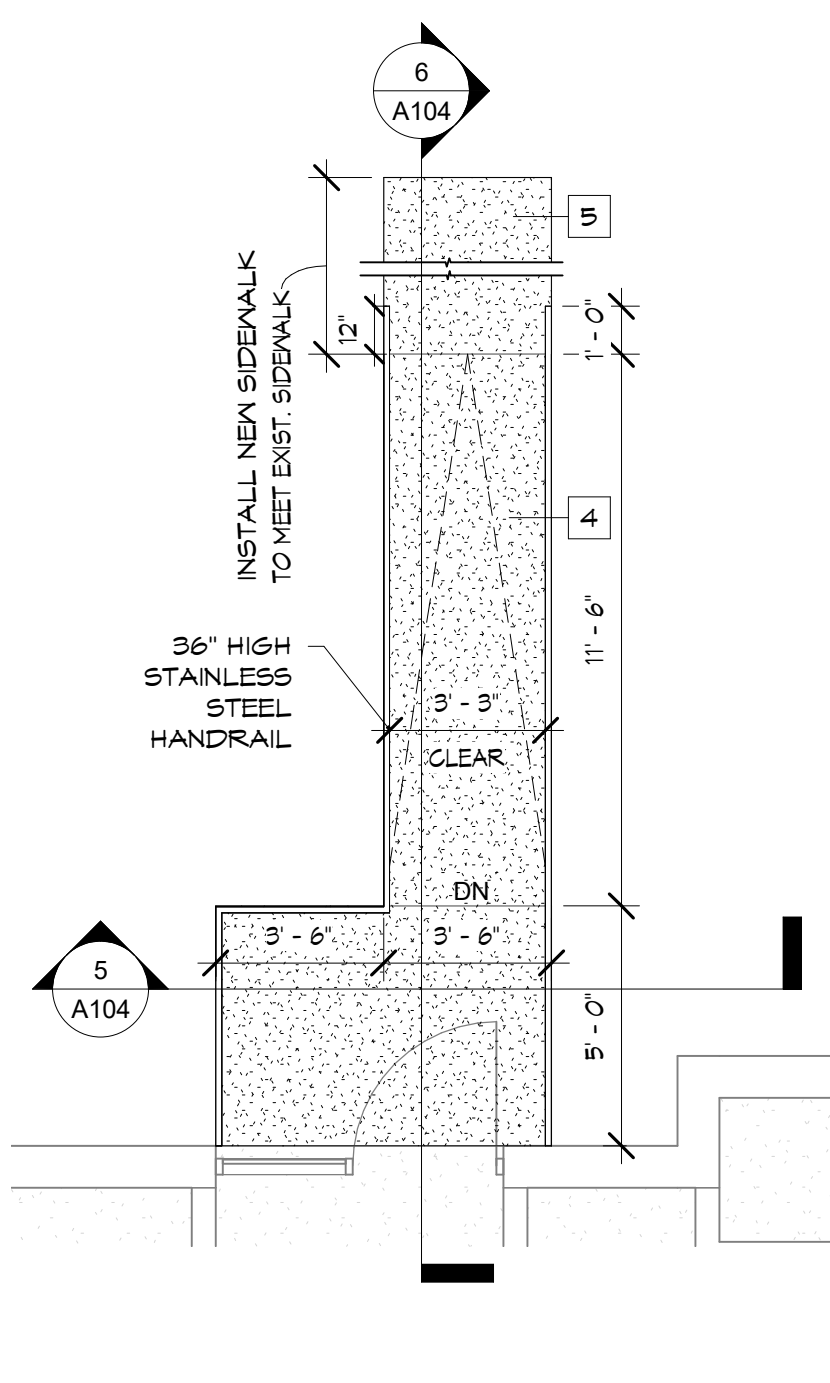
Revisions:

Date:
17 OCT. 2018

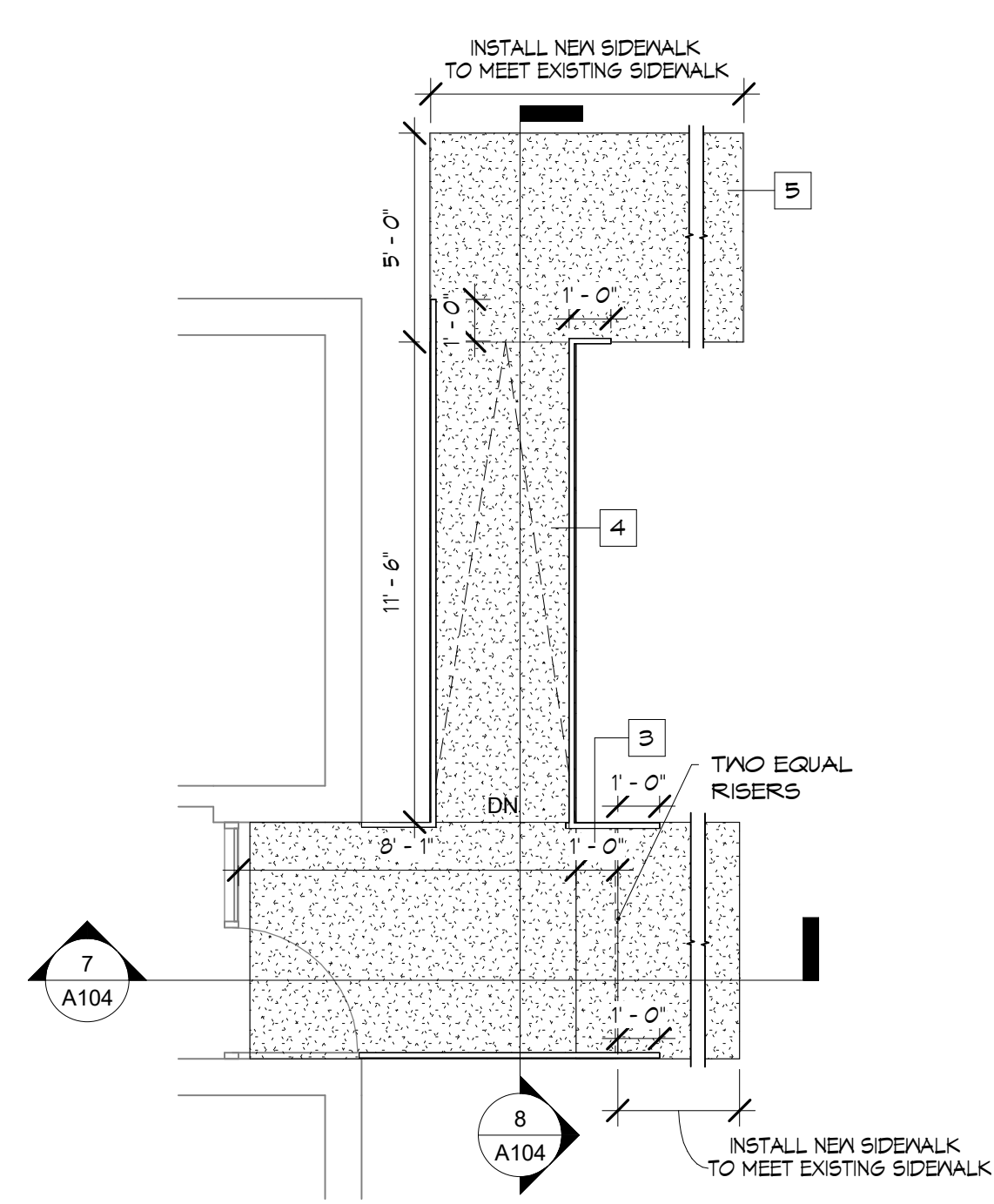
Project Number:
505-0693

Sheet Title:
**ENLARGED
ROSTRUM
PLAN/DETAILS**

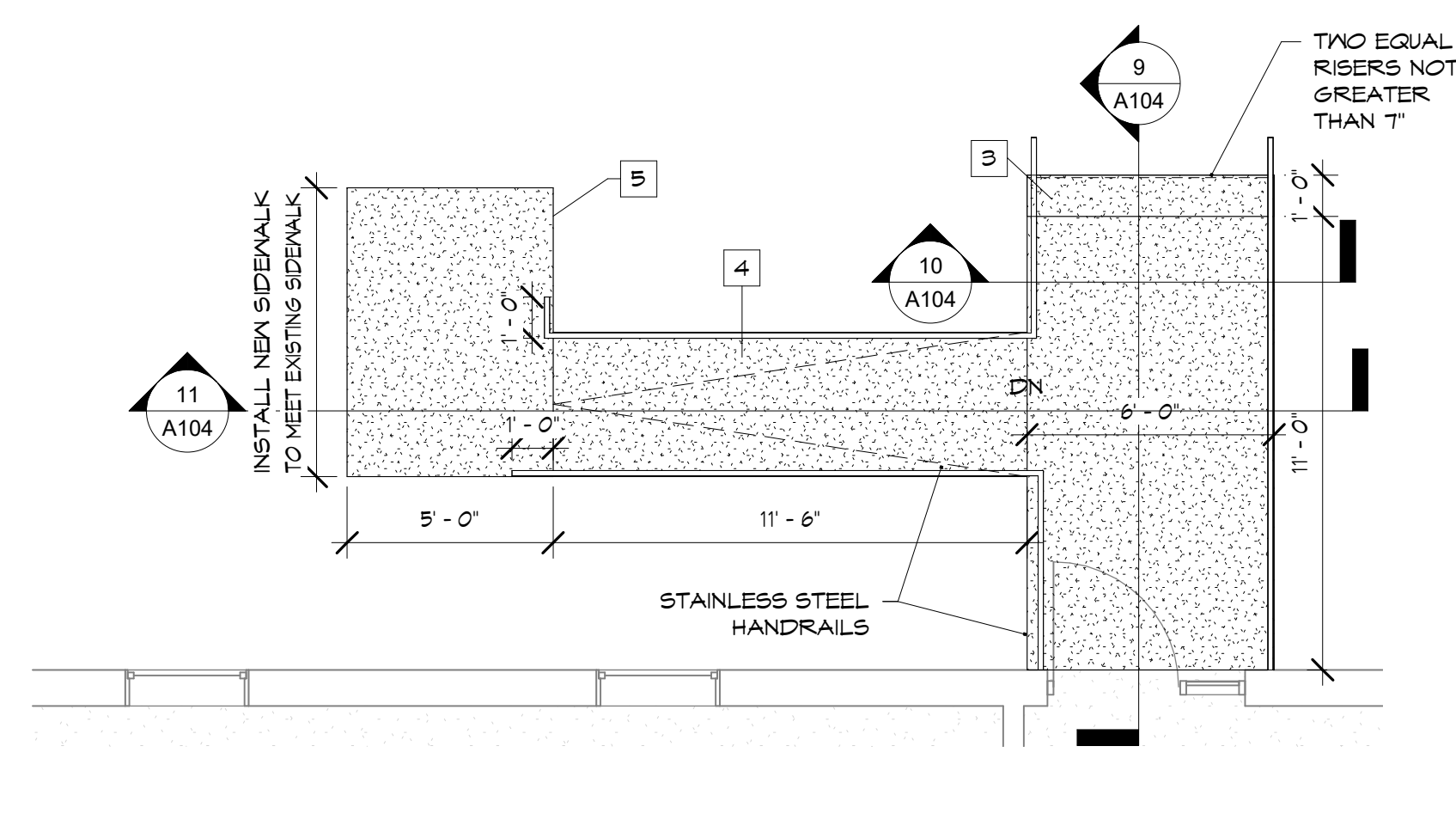
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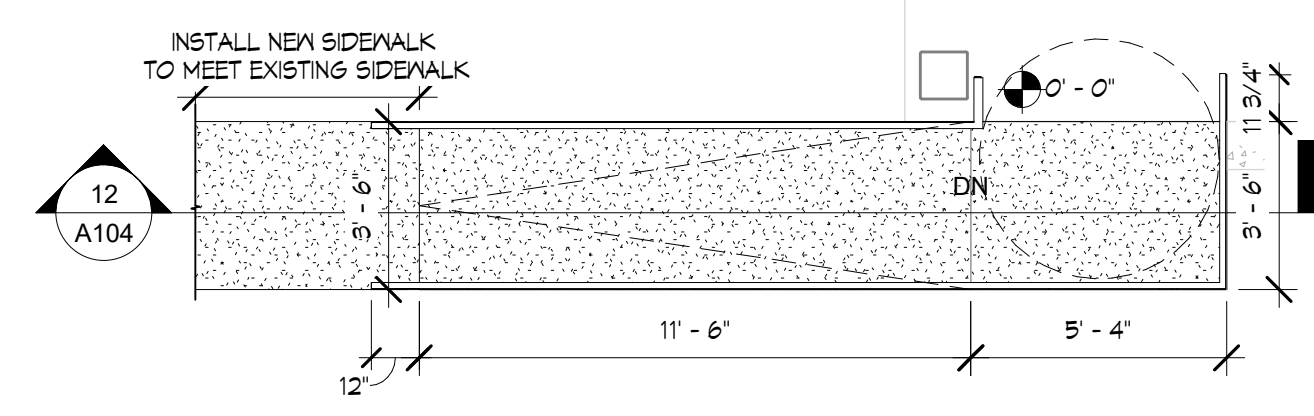
1 NORTH RAMP
1/4" = 1'-0"



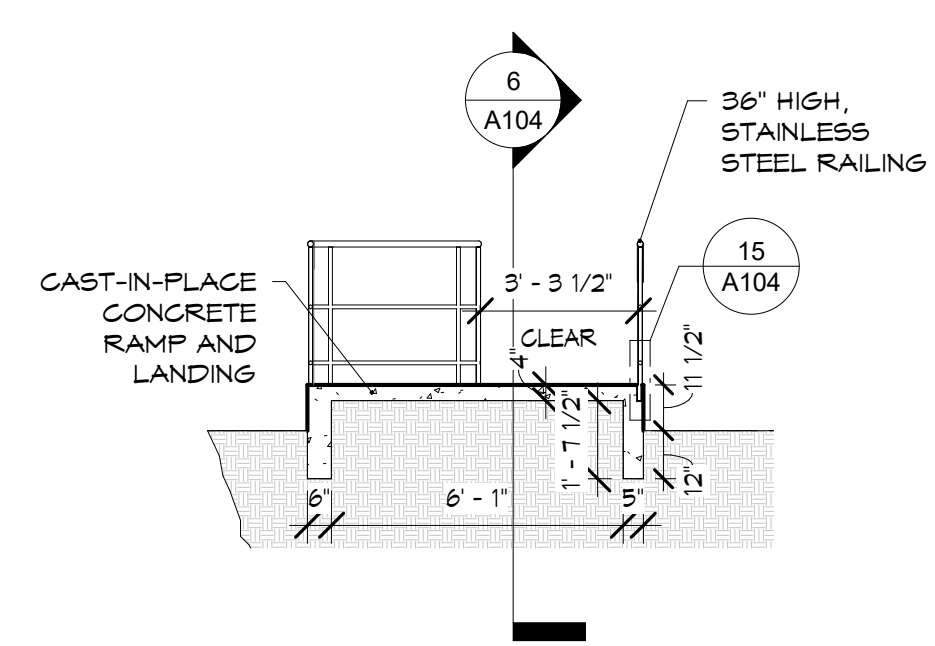
2 NORTH WEST RAMP
1/4" = 1'-0"



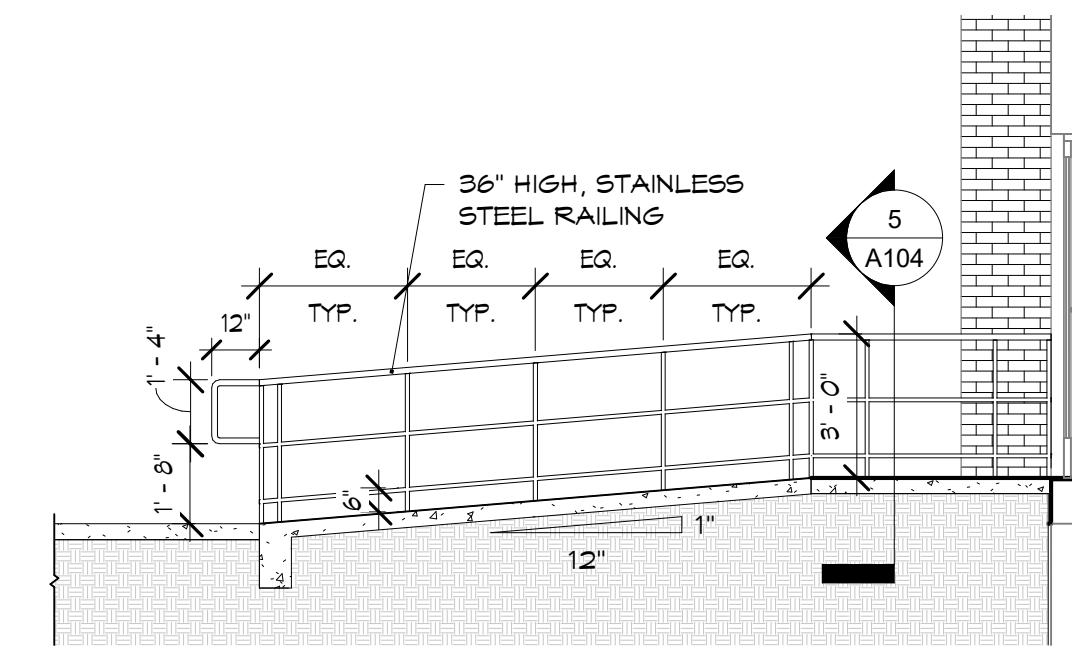
3 WEST RAMP
1/4" = 1'-0"



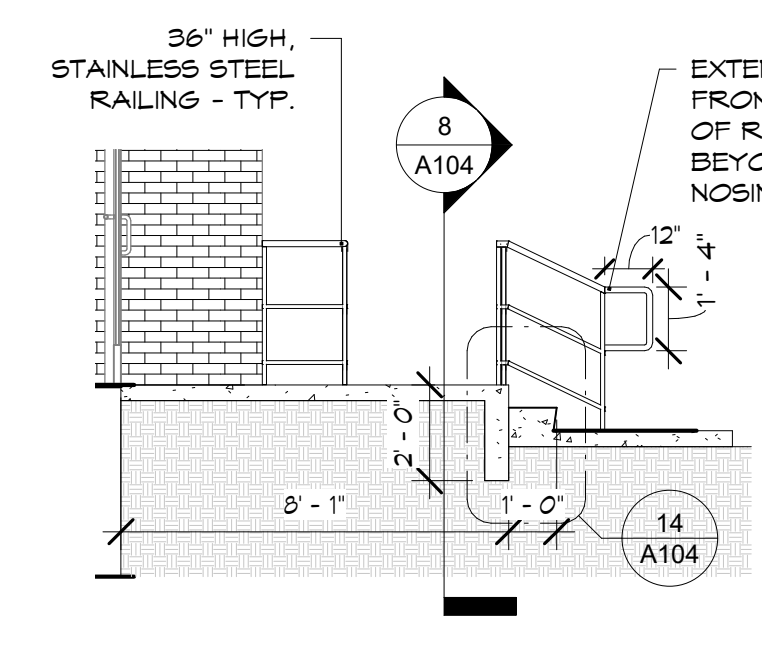
4 EAST RAMP
1/4" = 1'-0"



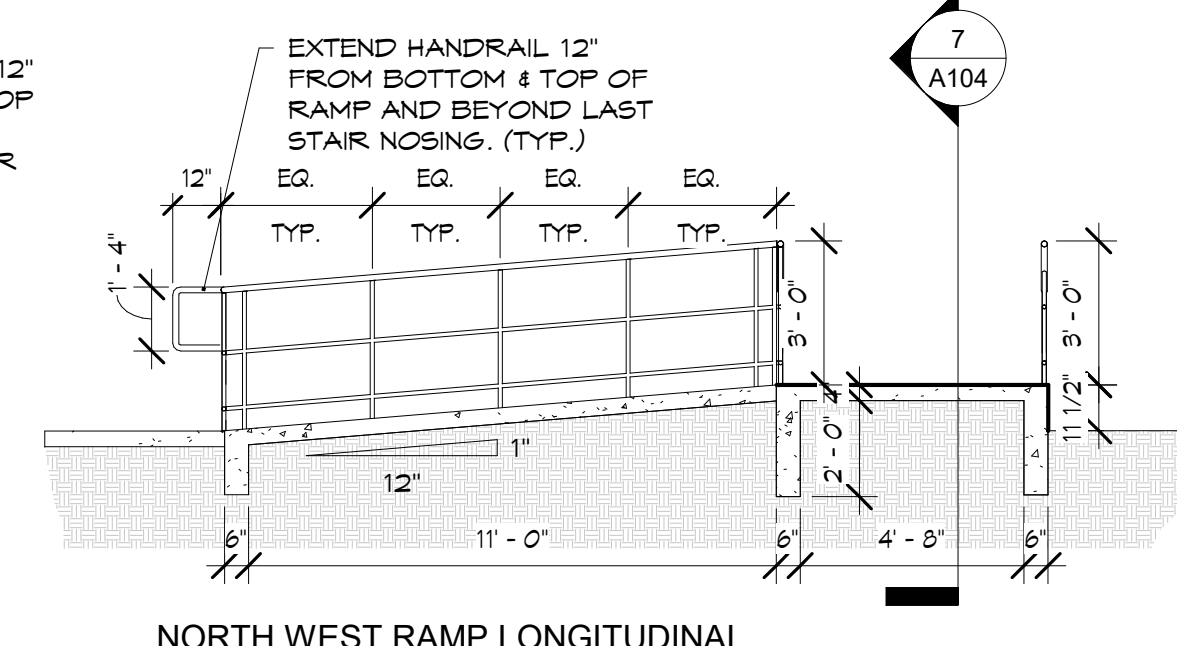
5 NORTH RAMP CROSS SECTION
1/4" = 1'-0"



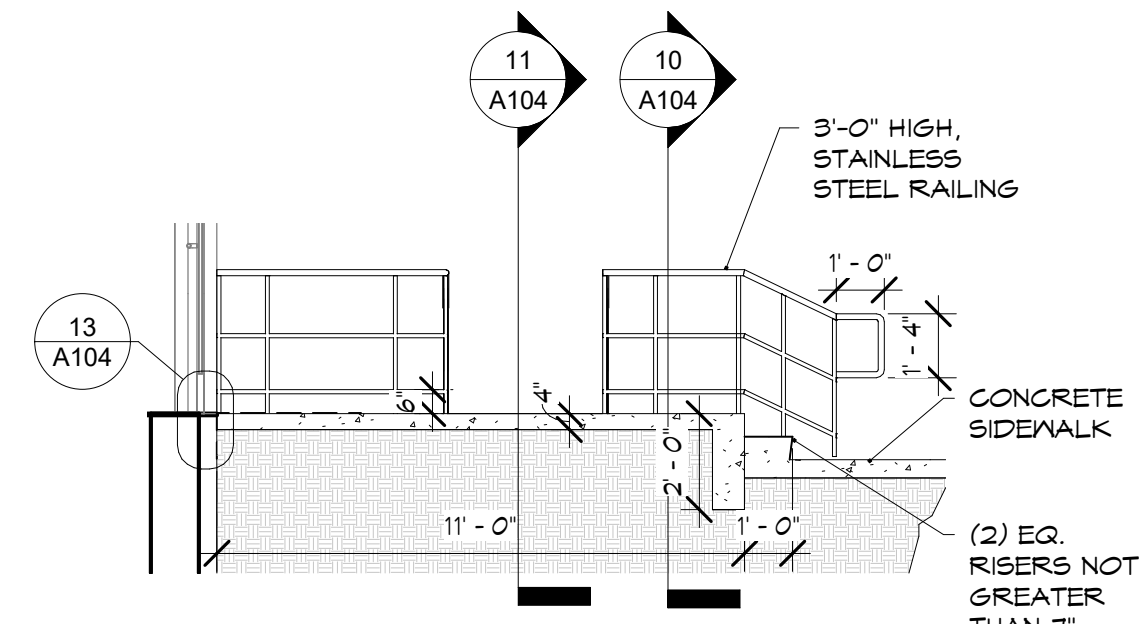
6 NORTH RAMP LONGITUDINAL SECTION
1/4" = 1'-0"



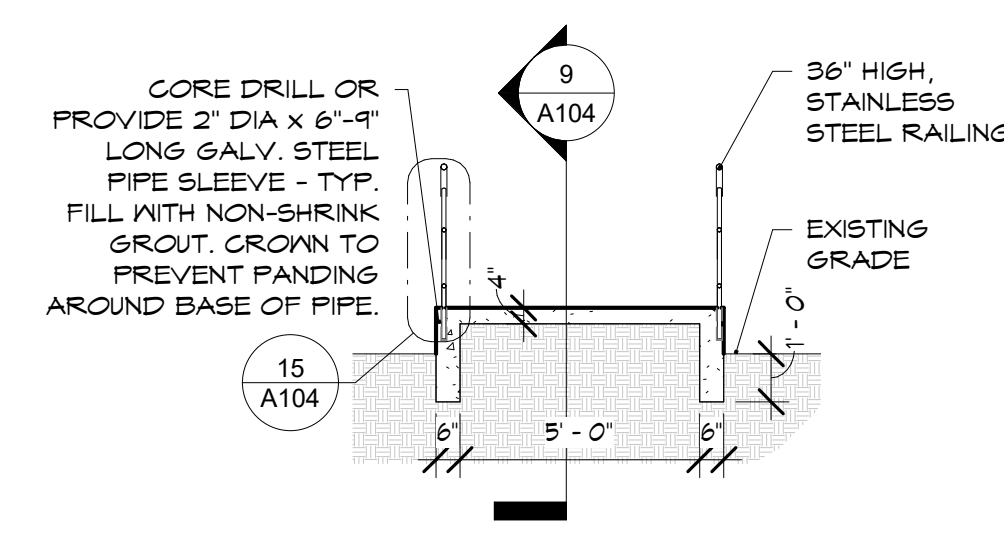
7 NORTH WEST RAMP CROSS SECTION
1/4" = 1'-0"



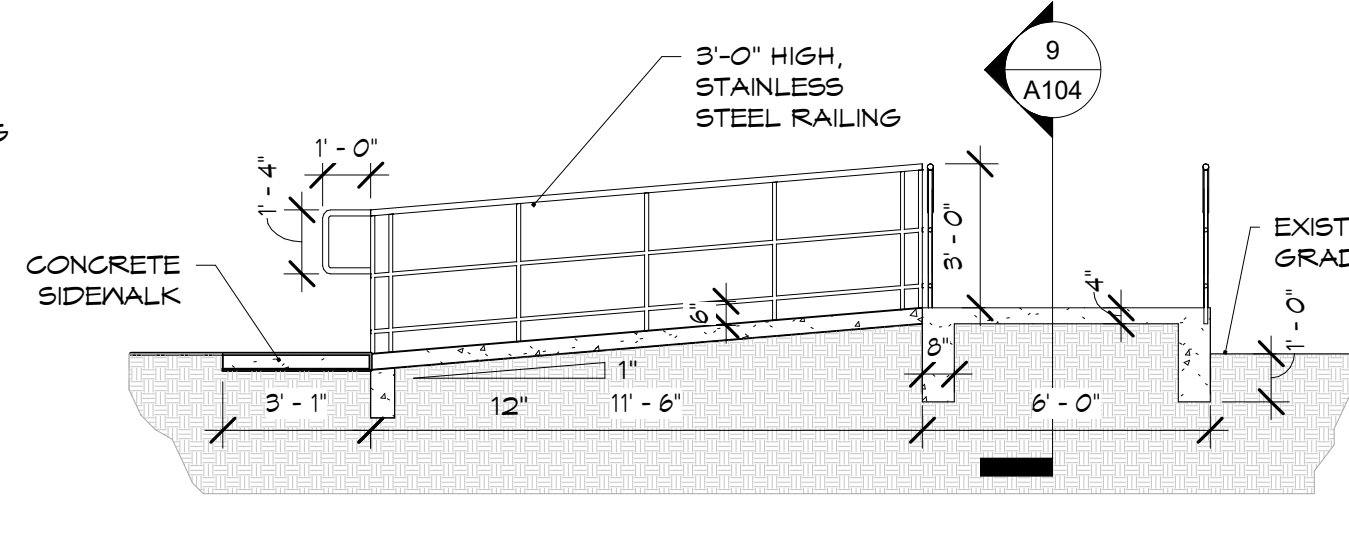
8 NORTH WEST RAMP LONGITUDINAL SECTION
1/4" = 1'-0"



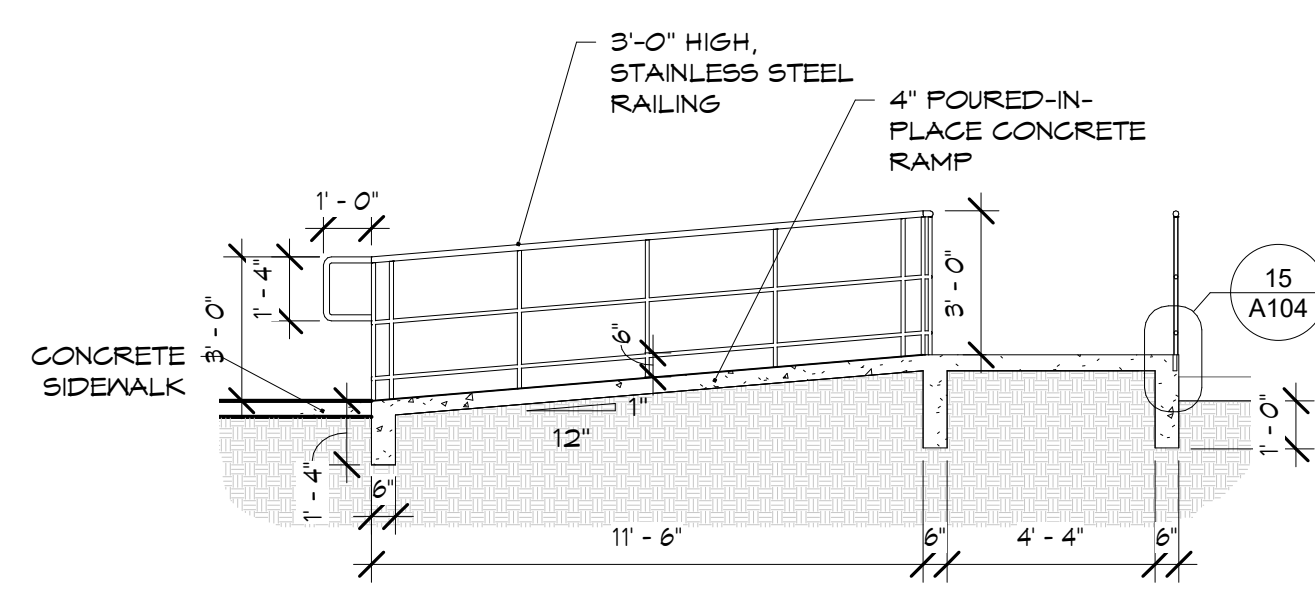
9 WEST RAMP CROSS SECTION
1/4" = 1'-0"



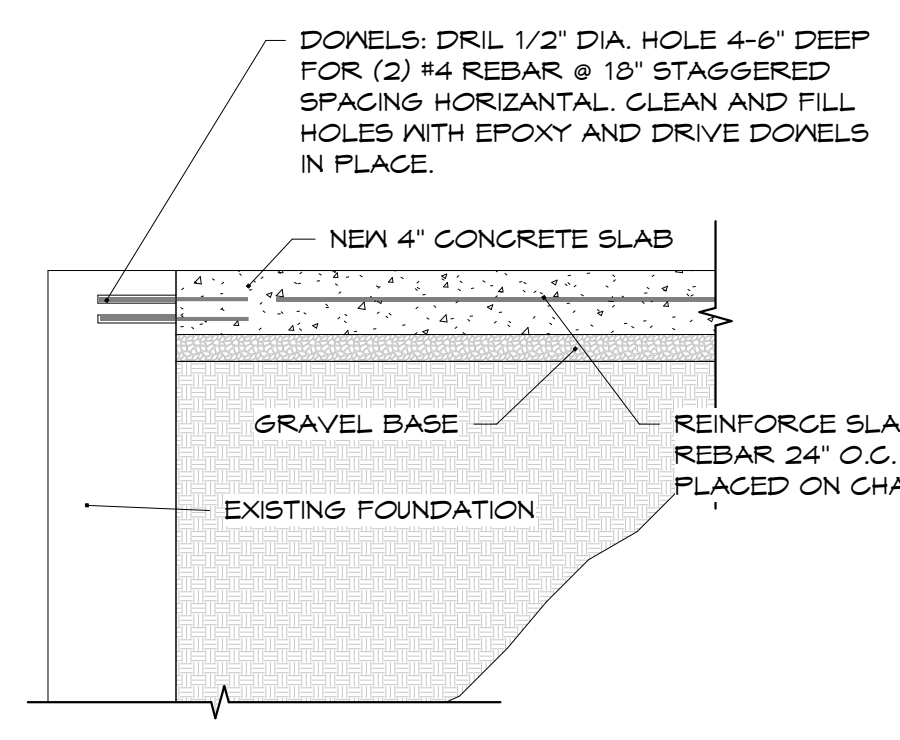
10 WEST RAMP SECTION
1/4" = 1'-0"



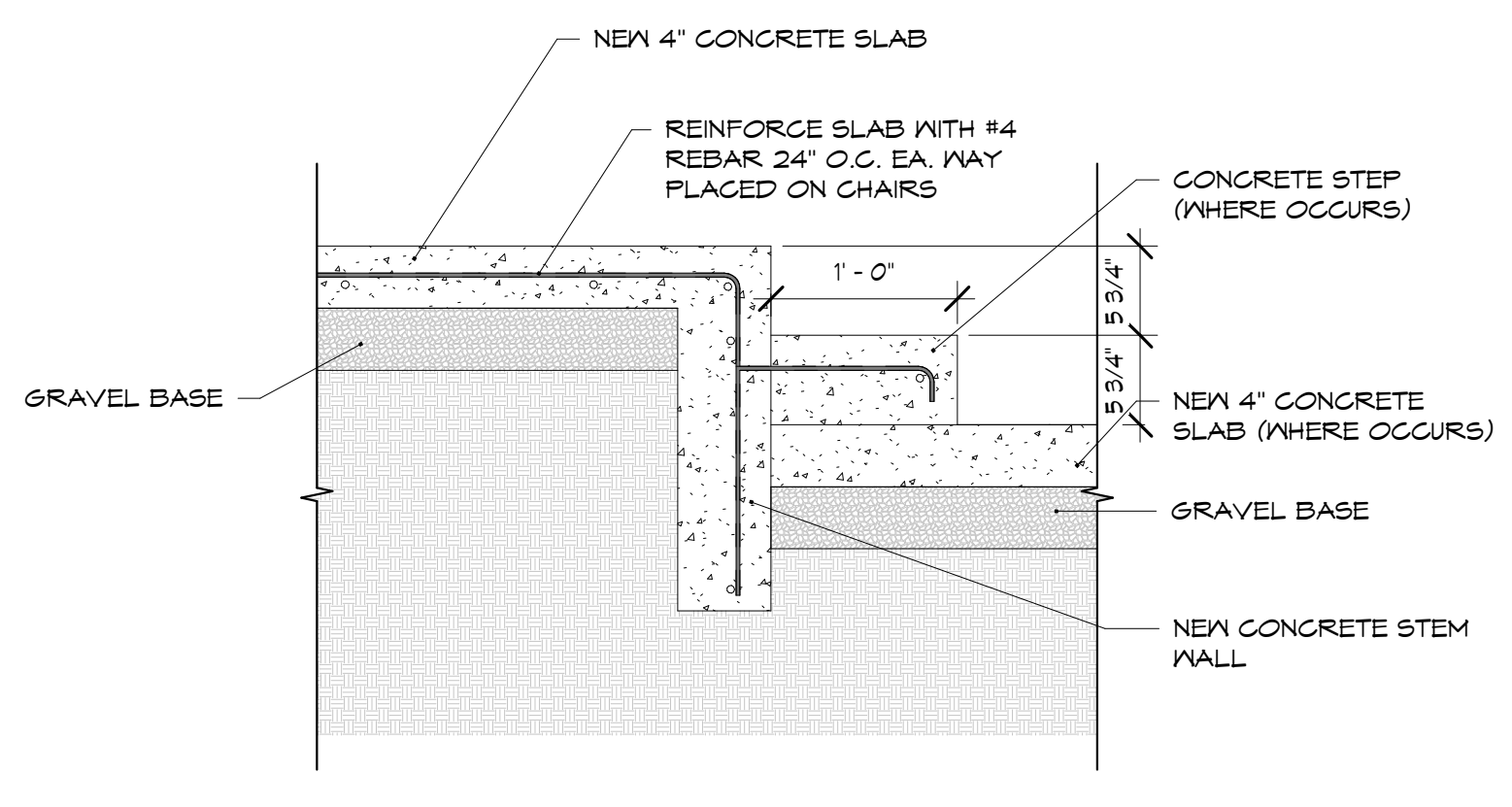
11 WEST RAMP LONGITUDINAL SECTION
1/4" = 1'-0"



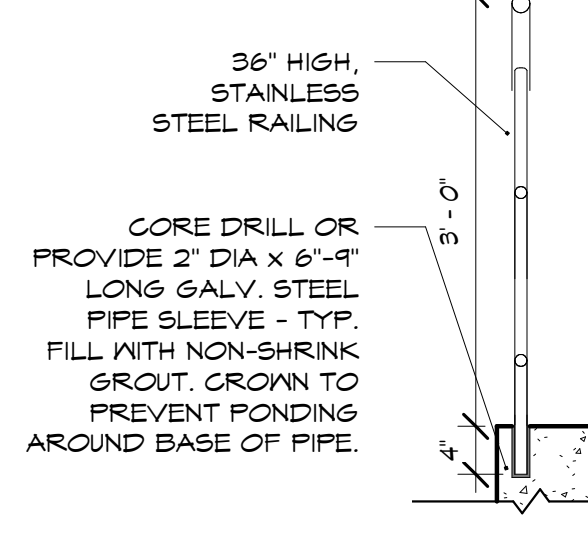
12 EAST RAMP LONGITUDINAL SECTION
1/4" = 1'-0"



13 CONNECTION DETAIL
1" = 1'-0"

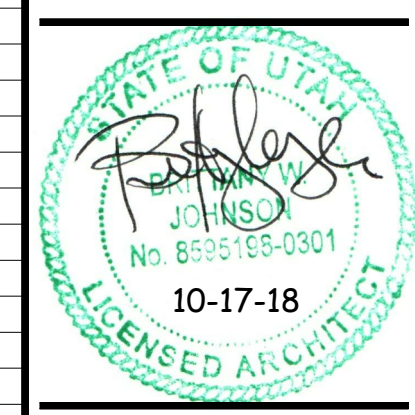
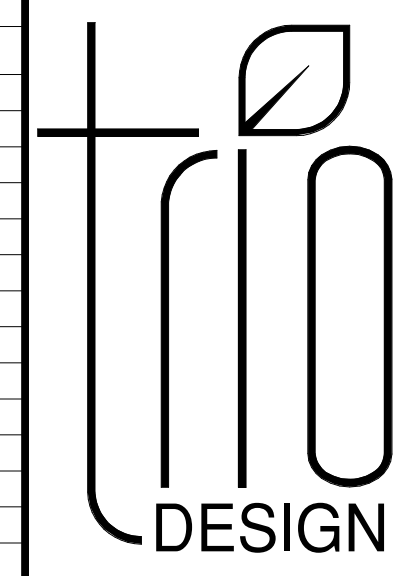


14 STEM WALL DETAIL
1" = 1'-0"



15 RAILING SLEEVE DETAIL
3/4" = 1'-0"

KEYNOTES	
#	DESCRIPTION
1	RELOCATED EQUIPMENT
2	CONCRETE REPLACEMENT
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28	Sisal WALL COVERING
29	GRAB BARS
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32	TOILET DISPENSER N.I.C.
33	DOUBLE ROLL TOILET PAPER DISPENSER
34	SANITARY NAPKIN DISPOSAL UNIT
35	BABY CHANGING STATION
36	MIRROR WITH ALUMINUM FRAME
37	METAL SHELF
38	MOP RACK
39	NEW SEATING
41	FRAMED ADA RAMP



Project Name:
PARK 1, 4, 10 RESTROOM & ADA UPGRADES
50 SOUTH 750 WEST, OREM UTAH

Project For:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

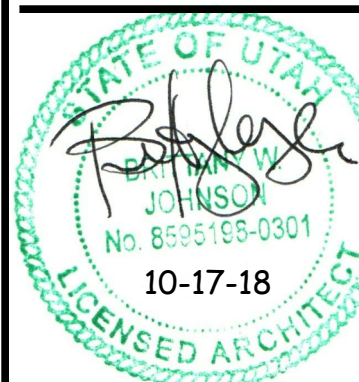
Revisions:

Date:
17 OCT. 2018

Project Number:
505-0693

Sheet Title:
EXTERIOR RAMP PLANS/DETAILS

Sheet No.:
A104



Project Name:
**PARK 1, 4, 10
RESTROOM & ADA UPGRADES**
50 SOUTH 750 WEST, OREM UTAH

Project For:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

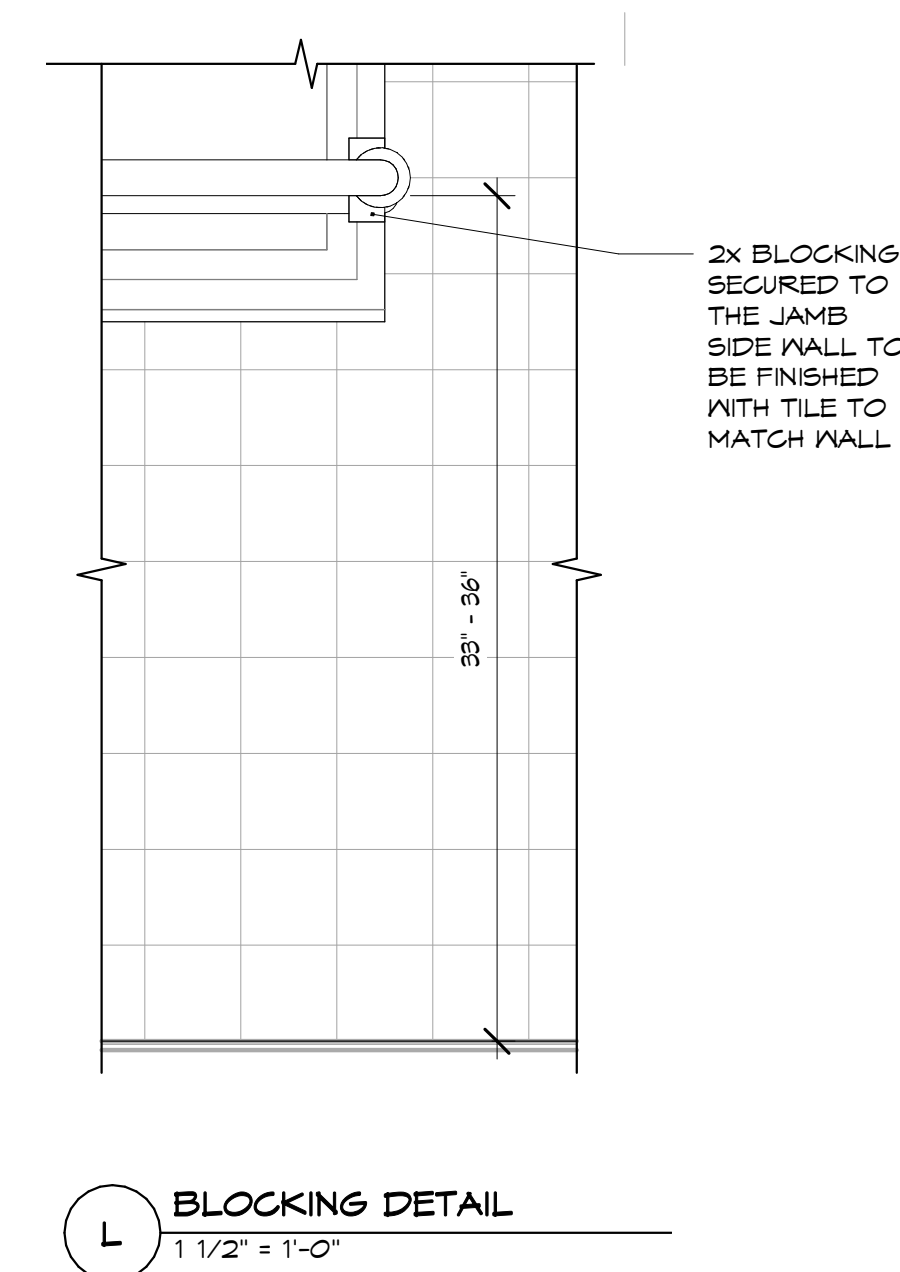
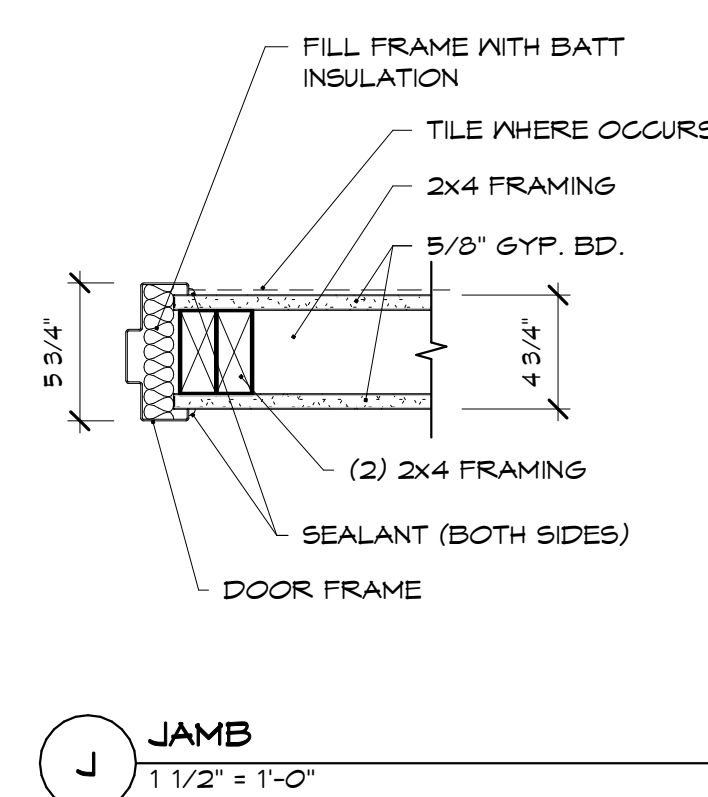
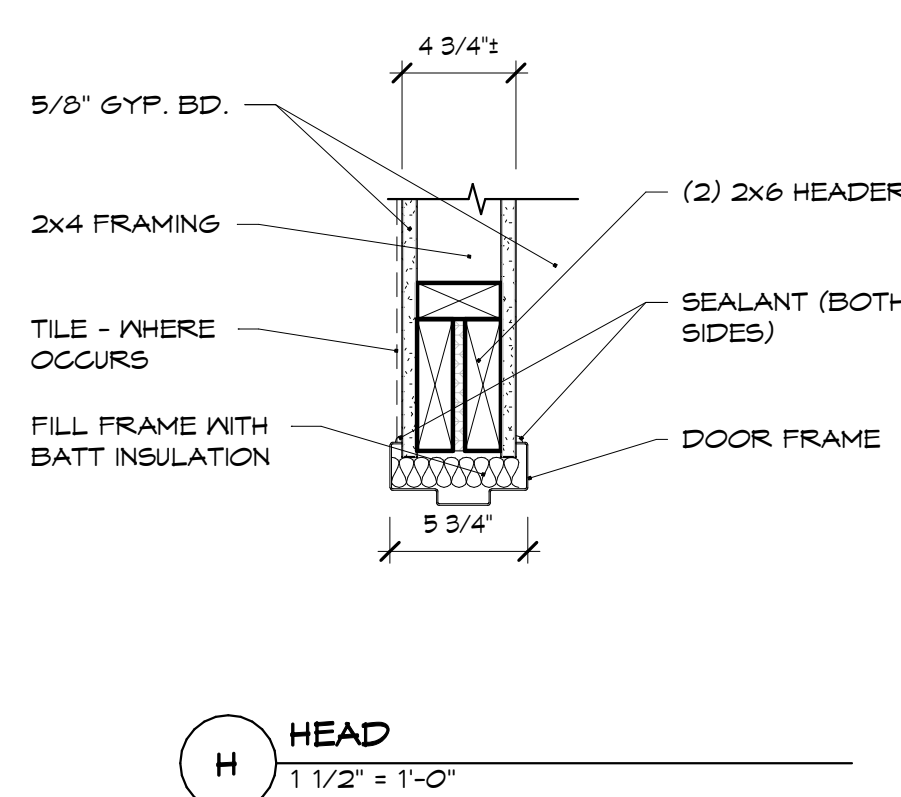
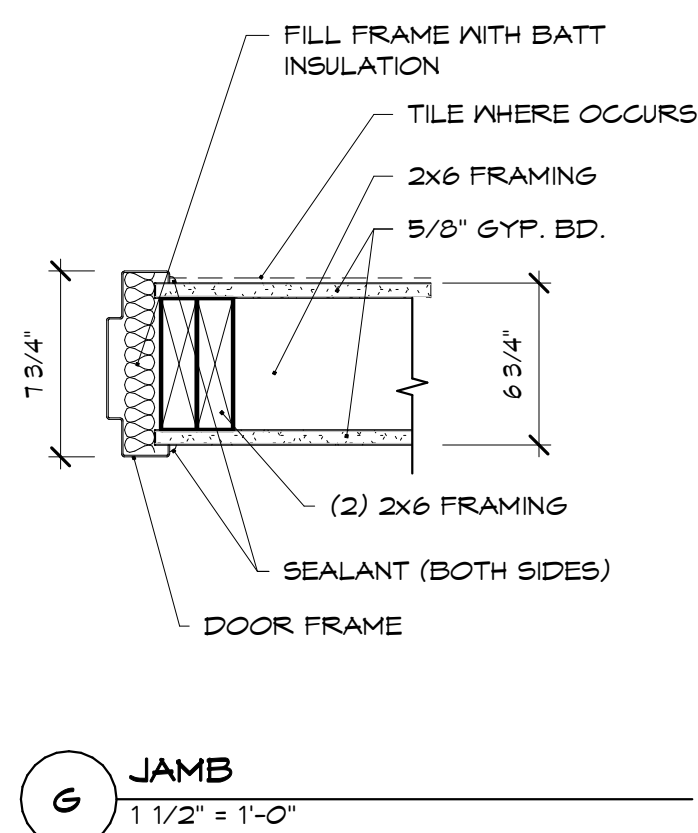
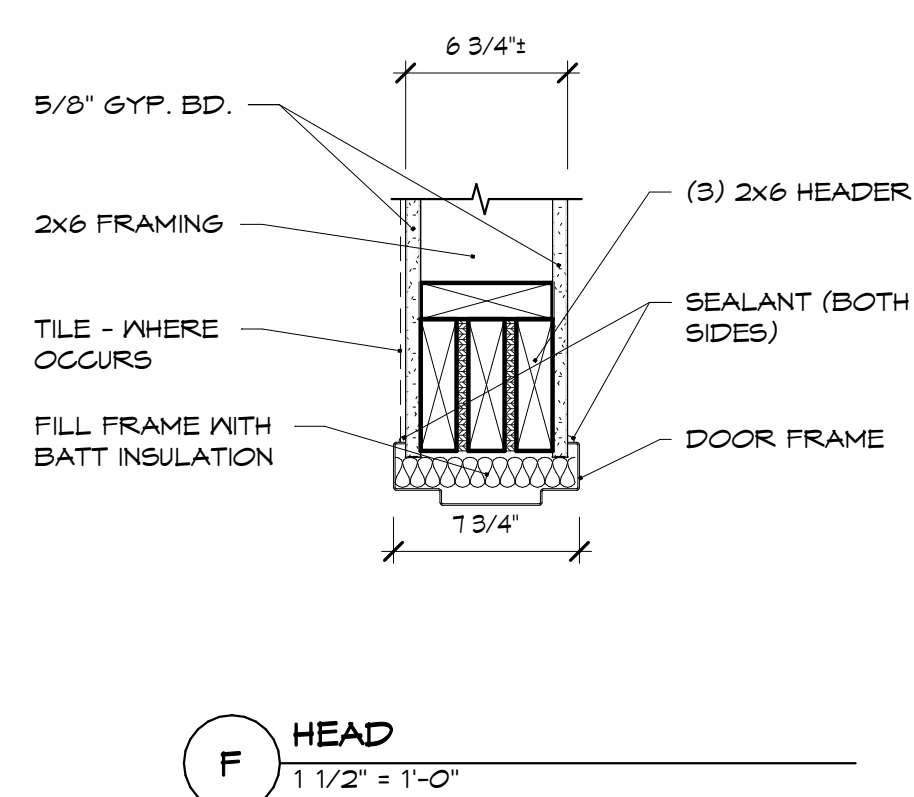
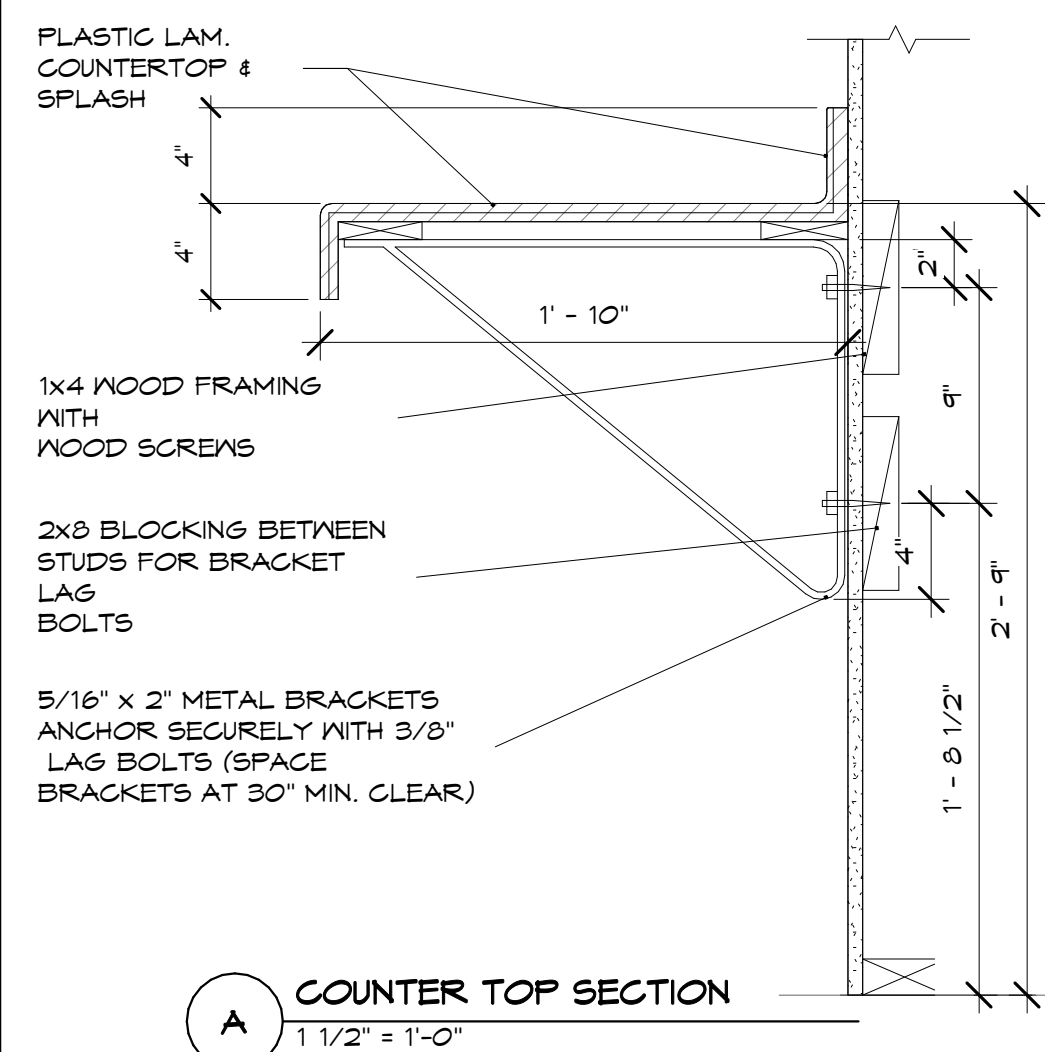
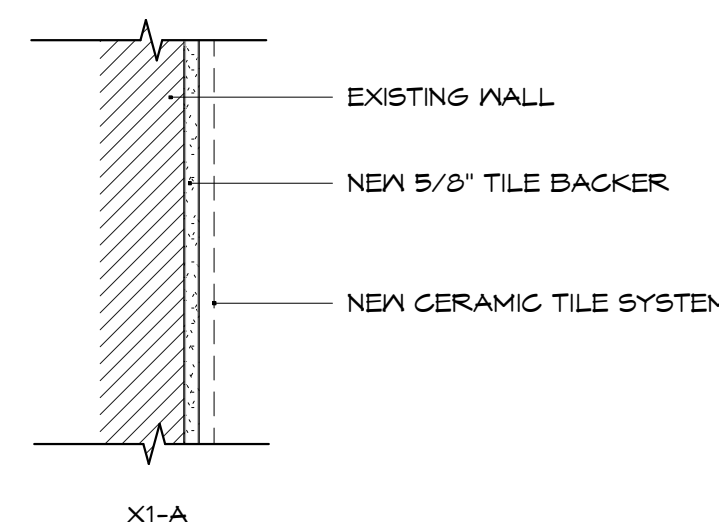
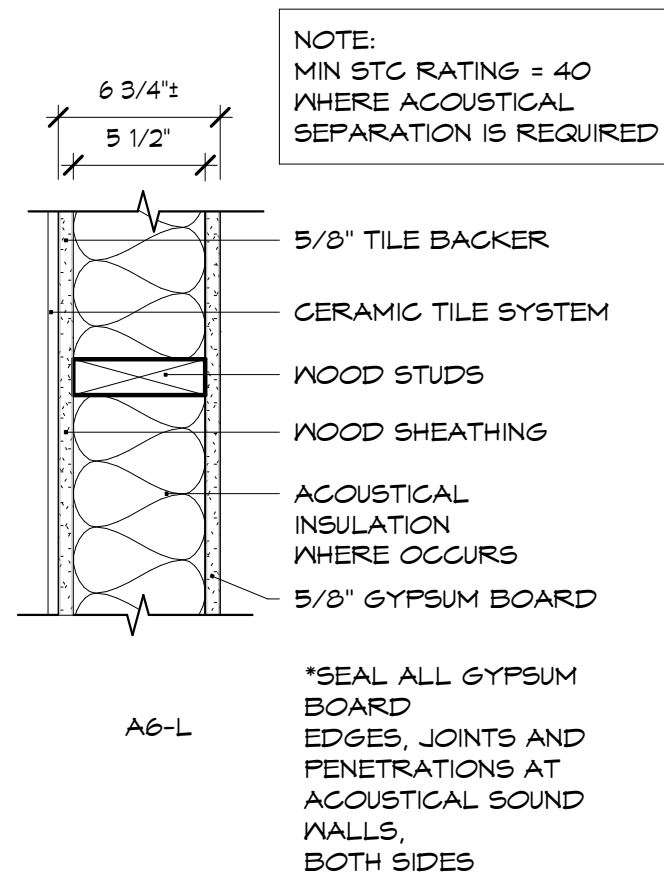
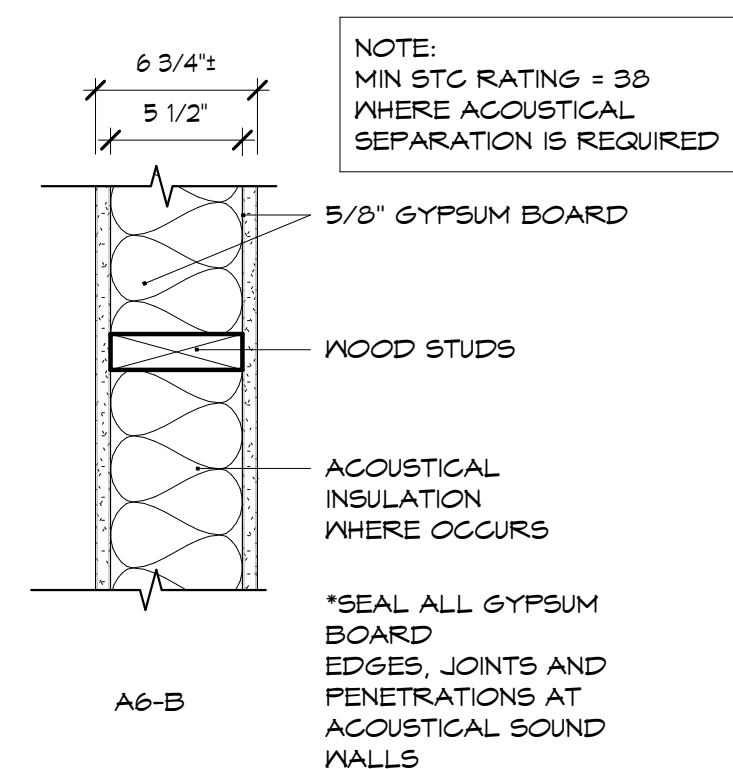
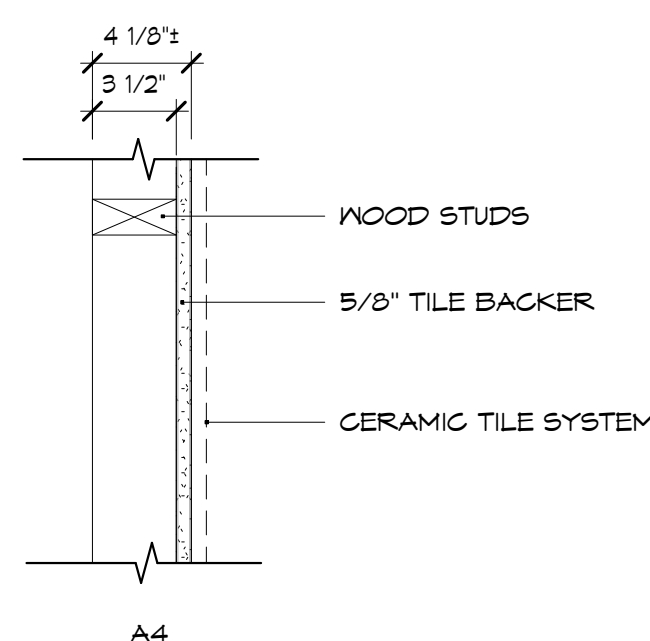
Revisions:

Date:
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Project Number:
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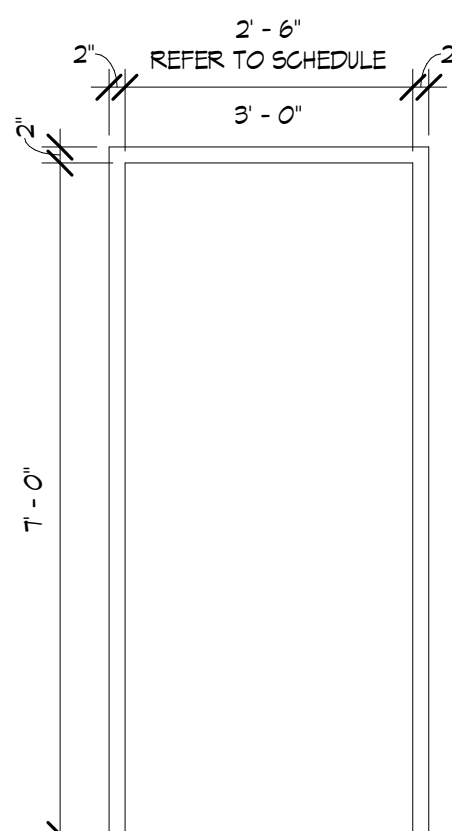
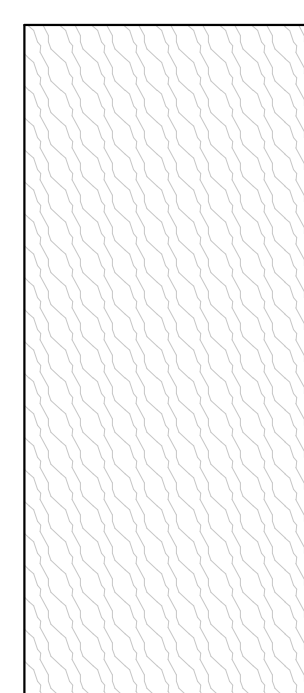
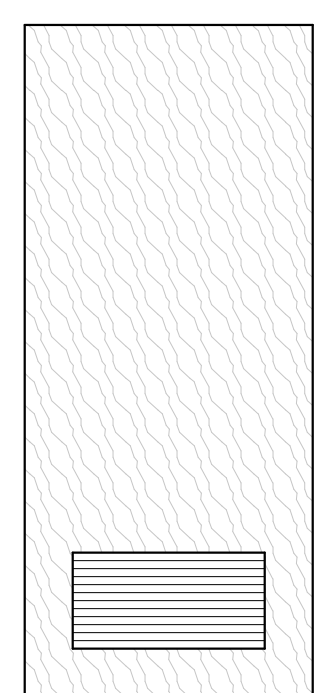
Sheet Title:
**WALL TYPES
& DOOR
SCHEDULE**

Sheet No.:
A401



DOOR SCHEDULE

MARK	DOOR				FRAME			HARDWARE	COMMENTS
	WIDTH	HEIGHT	DOOR MATERIAL	FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH		
A	3'-0"	T-0"	WOOD	STAINED	A	HOLLOW METAL	PAINTED	2B	DOOR TYPE 1
B	3'-0"	T-0"	WOOD	STAINED	A	HOLLOW METAL	PAINTED	2BA	DOOR TYPE 1
C	3'-0"	T-0"	WOOD	STAINED	A	HOLLOW METAL	PAINTED	2B	DOOR TYPE 1
D	3'-0"	T-0"	WOOD	STAINED	A	HOLLOW METAL	PAINTED	32	DOOR TYPE 1
E	2'-6"	T-0"	WOOD	STAINED	A	HOLLOW METAL	PAINTED	20	DOOR TYPE 2

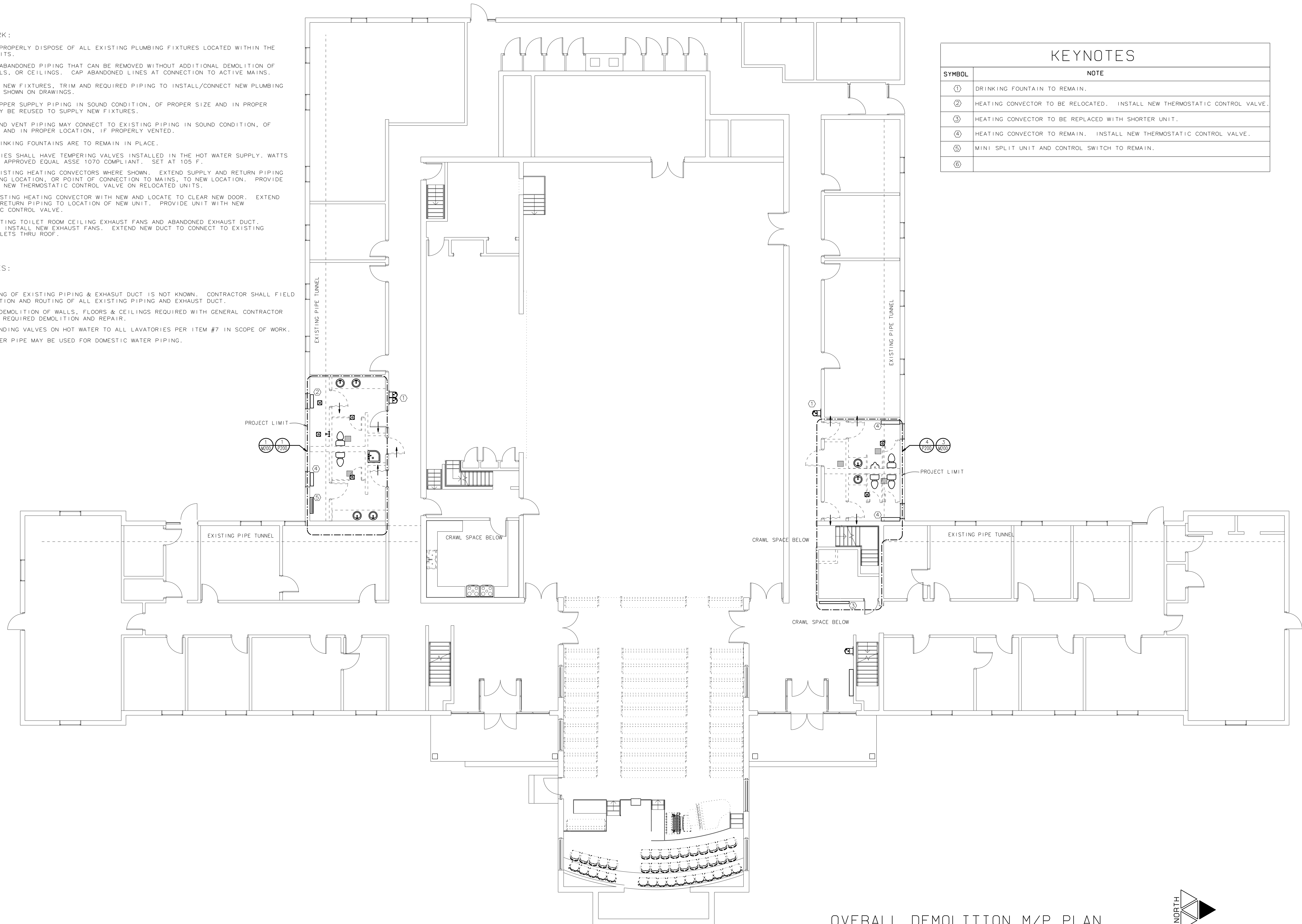


SCOPE OF WORK:

1. REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PLUMBING FIXTURES LOCATED WITHIN THE PROJECT LIMITS.
2. REMOVE ALL ABANDONED PIPING THAT CAN BE REMOVED WITHOUT ADDITIONAL DEMOLITION OF FLOORS, WALLS, OR CEILINGS. CAP ABANDONED LINES AT CONNECTION TO ACTIVE MAINS.
3. PROVIDE ALL NEW FIXTURES, TRIM AND REQUIRED PIPING TO INSTALL/CONNECT NEW PLUMBING FIXTURES AS SHOWN ON DRAWINGS.
4. EXISTING COPPER SUPPLY PIPING IN SOUND CONDITION, OF PROPER SIZE AND IN PROPER LOCATION MAY BE REUSED TO SUPPLY NEW FIXTURES.
5. NEW WASTE AND VENT PIPING MAY CONNECT TO EXISTING PIPING IN SOUND CONDITION, OF PROPER SIZE AND IN PROPER LOCATION, IF PROPERLY VENTED.
6. EXISTING DRINKING FOUNTAINS ARE TO REMAIN IN PLACE.
7. ALL LAVATORIES SHALL HAVE TEMPERING VALVES INSTALLED IN THE HOT WATER SUPPLY. WATTS LFUSG-B, OR APPROVED EQUAL ASSE 1070 COMPLIANT. SET AT 105 F.
8. RELOCATE EXISTING HEATING CONVECTORS WHERE SHOWN. EXTEND SUPPLY AND RETURN PIPING FROM EXISTING LOCATION, OR POINT OF CONNECTION TO MAINS, TO NEW LOCATION. PROVIDE AND INSTALL NEW THERMOSTATIC CONTROL VALVE ON RELOCATED UNITS.
9. REPLACE EXISTING HEATING CONVECTOR WITH NEW AND LOCATE TO CLEAR NEW DOOR. EXTEND SUPPLY AND RETURN PIPING TO LOCATION OF NEW UNIT. PROVIDE UNIT WITH NEW THERMOSTATIC CONTROL VALVE.
10. REMOVE EXISTING TOILET ROOM CEILING EXHAUST FANS AND ABANDONED EXHAUST DUCT. PROVIDE AND INSTALL NEW EXHAUST FANS. EXTEND NEW DUCT TO CONNECT TO EXISTING EXHAUST OUTLETS THRU ROOF.

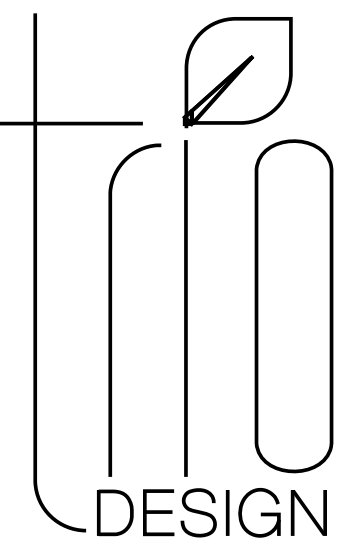
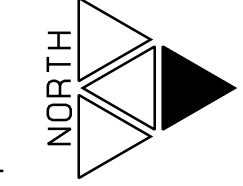
DRAWING NOTES:

1. EXACT ROUTING OF EXISTING PIPING & EXHAUST DUCT IS NOT KNOWN. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ROUTING OF ALL EXISTING PIPING AND EXHAUST DUCT.
2. COORDINATE DEMOLITION OF WALLS, FLOORS & CEILINGS REQUIRED WITH GENERAL CONTRACTOR TO MINIMIZE REQUIRED DEMOLITION AND REPAIR.
3. INSTALL BLENDING VALVES ON HOT WATER TO ALL LAVATORIES PER ITEM #7 IN SCOPE OF WORK.
4. PEX OR COPPER PIPE MAY BE USED FOR DOMESTIC WATER PIPING.

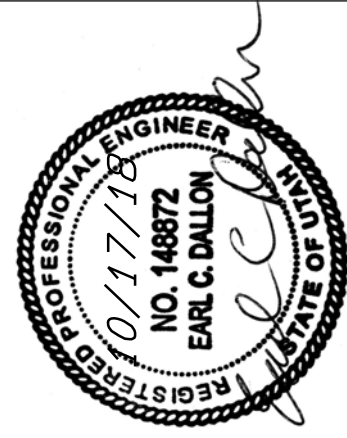


KEYNOTES	
SYMBOL	NOTE
①	DRINKING FOUNTAIN TO REMAIN.
②	HEATING CONVECTOR TO BE RELOCATED. INSTALL NEW THERMOSTATIC CONTROL VALVE.
③	HEATING CONVECTOR TO BE REPLACED WITH SHORTER UNIT.
④	HEATING CONVECTOR TO REMAIN. INSTALL NEW THERMOSTATIC CONTROL VALVE.
⑤	MINI SPLIT UNIT AND CONTROL SWITCH TO REMAIN.
⑥	

OVERALL DEMOLITION M/P PLAN
 SCALE: 1/8" = 1'-0"
 0 5' 10' 15' 20' 25' 30'



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BRUNNER & DALLON
 ENGINEERING
 1225 E Ft Union Blvd, #320
 Cottonwood Heights, UT 84047
 801.685-6081

PROJECT NAME:

**PARK 1, 4, 10 RESTROOM
 & ADA UPGRADES**
 50 SOUTH 750 WEST, OREM, UTAH

PROJECT FOR:

**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

REVISIONS:

Date: **10/17/2018**

Project Number: **505-0693**

Sheet Title:
**OVERALL DEMOLITION
 M/P PLAN**

Sheet No.:

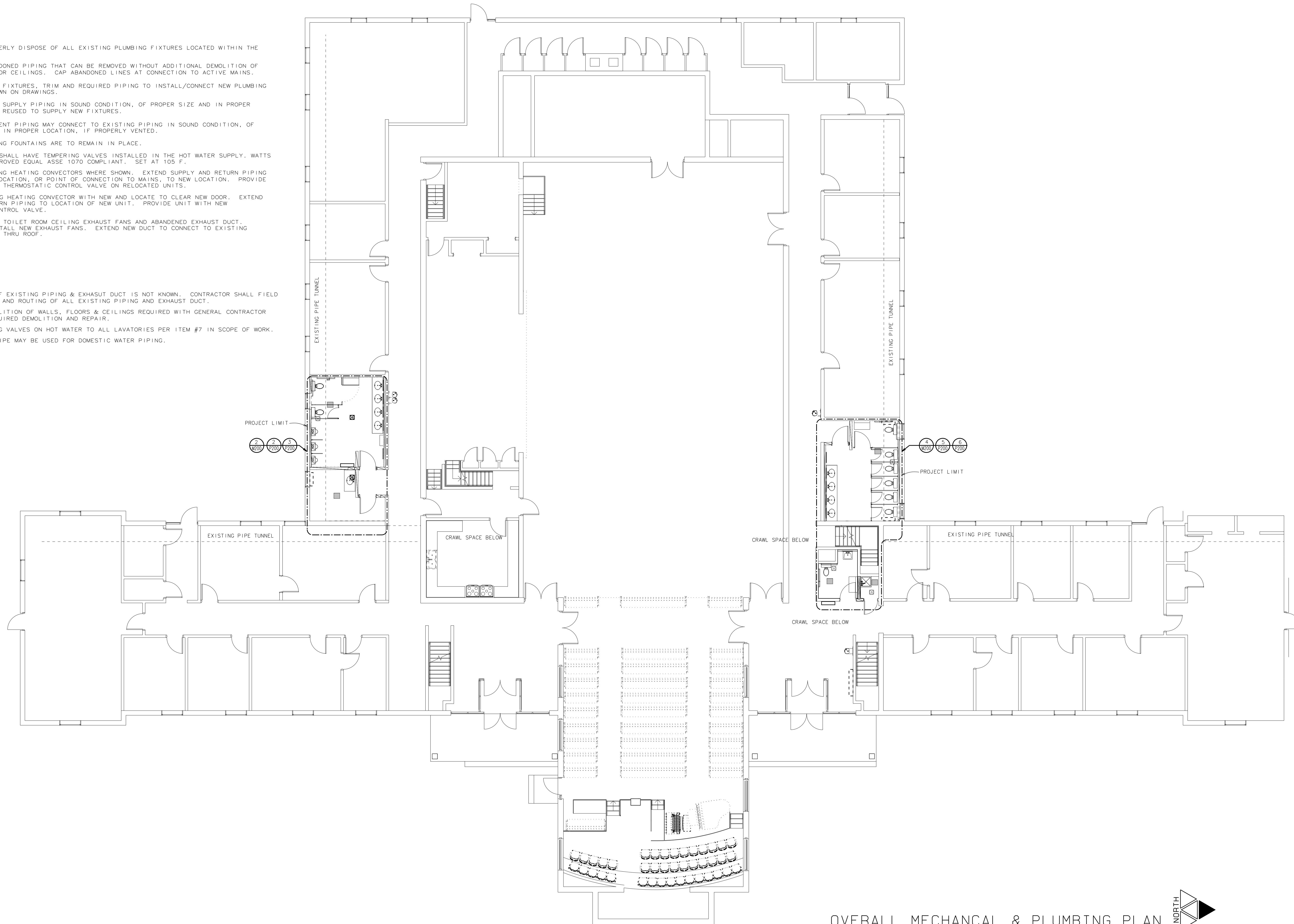
MP100

SCOPE OF WORK:

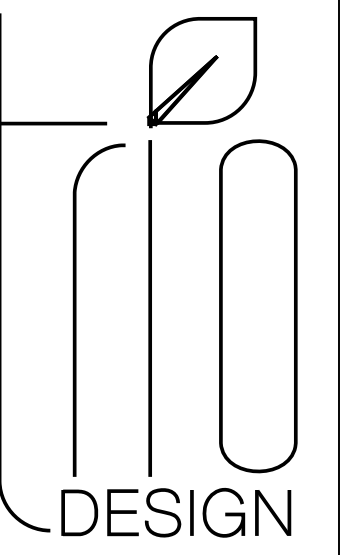
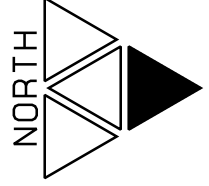
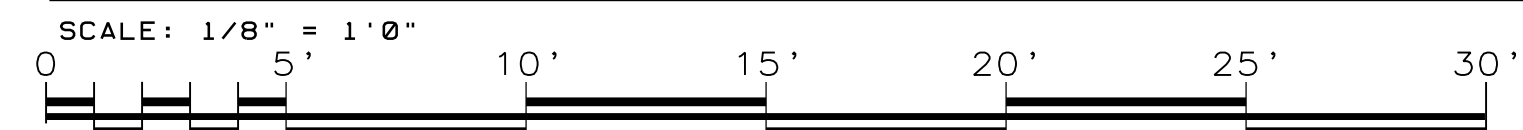
1. REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PLUMBING FIXTURES LOCATED WITHIN THE PROJECT LIMITS.
2. REMOVE ALL ABANDONED PIPING THAT CAN BE REMOVED WITHOUT ADDITIONAL DEMOLITION OF FLOORS, WALLS, OR CEILINGS. CAP ABANDONED LINES AT CONNECTION TO ACTIVE MAINS.
3. PROVIDE ALL NEW FIXTURES, TRIM AND REQUIRED PIPING TO INSTALL/CONNECT NEW PLUMBING FIXTURES AS SHOWN ON DRAWINGS.
4. EXISTING COPPER SUPPLY PIPING IN SOUND CONDITION, OF PROPER SIZE AND IN PROPER LOCATION MAY BE REUSED TO SUPPLY NEW FIXTURES.
5. NEW WASTE AND VENT PIPING MAY CONNECT TO EXISTING PIPING IN SOUND CONDITION, OF PROPER SIZE AND IN PROPER LOCATION, IF PROPERLY VENTED.
6. EXISTING DRINKING FOUNTAINS ARE TO REMAIN IN PLACE.
7. ALL LAVATORIES SHALL HAVE TEMPERING VALVES INSTALLED IN THE HOT WATER SUPPLY. WATTS LFUSG-B, OR APPROVED EQUAL ASSE 1070 COMPLIANT. SET AT 105 F.
8. RELOCATE EXISTING HEATING CONVECTORS WHERE SHOWN. EXTEND SUPPLY AND RETURN PIPING FROM EXISTING LOCATION, OR POINT OF CONNECTION TO MAINS, TO NEW LOCATION. PROVIDE AND INSTALL NEW THERMOSTATIC CONTROL VALVE ON RELOCATED UNITS.
9. REPLACE EXISTING HEATING CONVECTOR WITH NEW AND LOCATE TO CLEAR NEW DOOR. EXTEND SUPPLY AND RETURN PIPING TO LOCATION OF NEW UNIT. PROVIDE UNIT WITH NEW THERMOSTATIC CONTROL VALVE.
10. REMOVE EXISTING TOILET ROOM CEILING EXHAUST FANS AND ABANDENED EXHAUST DUCT. PROVIDE AND INSTALL NEW EXHAUST FANS. EXTEND NEW DUCT TO CONNECT TO EXISTING EXHAUST OUTLETS THRU ROOF.

DRAWING NOTES:

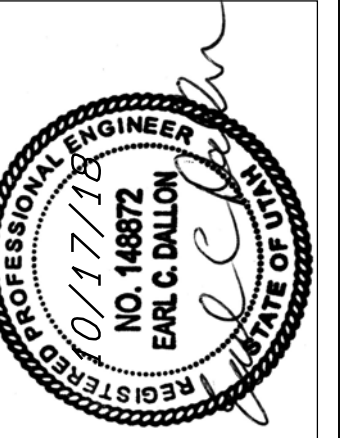
1. EXACT ROUTING OF EXISTING PIPING & EXHASUT DUCT IS NOT KNOWN. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ROUTING OF ALL EXISTING PIPING AND EXHAUST DUCT.
2. COORDINATE DEMOLITION OF WALLS, FLOORS & CEILINGS REQUIRED WITH GENERAL CONTRACTOR TO MINIMIZE REQUIRED DEMOLITION AND REPAIR.
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4. PEX OR COPPER PIPE MAY BE USED FOR DOMESTIC WATER PIPING.



OVERALL MECHANICAL & PLUMBING PLAN



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**PARK 1, 4, 10 RESTROOM
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 50 SOUTH 750 WEST, OREM, UTAH

PROJECT FOR:

**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

REVISIONS:

Date: **10/17/2018**

Project Number: **505-0693**

Sheet Title:
**OVERALL MECHANICAL
 & PLUMBING PLAN**

Sheet No.:

MP101

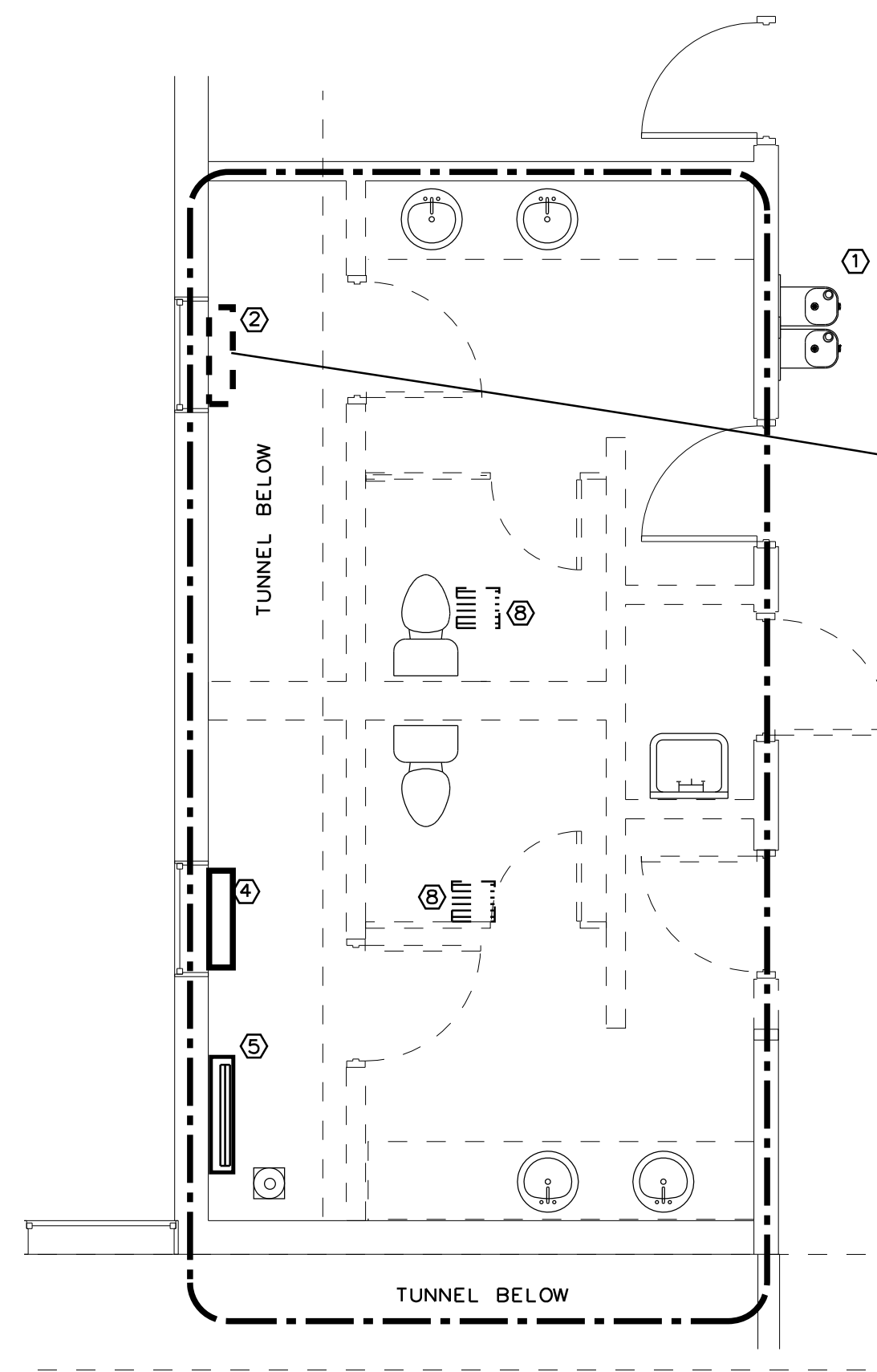
KEYNOTES	
SYMBOL	NOTE
①	DRINKING FOUNTAIN AND EXISTING WASTE, VENT & WATER PIPING TO REMAIN.
②	REMOVE EXISTING HEATING CONVECTOR. UNIT TO BE RELOCATED TO NEW WALL. CAP SUPPLY AND RETURN PIPING AT MAIN OR SHUTOFF VALVES PENDING NEW INSTALLATION.
③	REMOVE EXISTING HEATING CONVECTOR. CAP SUPPLY AND RETURN PIPING AT MAIN OR SHUTOFF VALVES PENDING NEW INSTALLATION.
④	HEATING CONVECTOR TO REMAIN. INSTALL NEW THERMOSTATIC CONTROL VALVE.
⑤	MINI SPLIT UNIT AND CONTROL SWITCH TO REMAIN.
⑥	NEW HEATING CONVECTOR LOCATION. INSTALL NEW THERMOSTATIC CONTROL VALVE. EXTEND PIPING FROM MAIN OR ORIGINAL LOCATION IN TUNNEL. RISE IN NEW WALL AND RUN IN WALL TO NEW UNIT LOCATION.
⑦	NEW HEATING CONVECTOR IS SHORTER THAN ORIGINAL. OFFSET SUPPLY AND RETURN PIPING IN CRAWL SPACE TO MAKE CONNECTIONS TO NEW UNIT.
⑧	REMOVE EXISTING CEILING EXHAUST FAN AND CONNECTED DUCT THAT IS NOT REUSEABLE. EXISTING POWER MAY BE UTILIZED FOR NEW FAN.
⑨	INSTALL NEW CEILING EXHAUST FAN AS SCHEDULED. EXTEND EXHAUST DUCT IN ATTIC TO NEAREST EXISTING EXHAUST VENT UP THRU ROOF. FAN TO SWITCH ON WITH ROOM LIGHTS AND REMAIN ON FOR 5 MINUTES AFTER LIGHT IS OFF. FIELD VERIFY EXISTING ROOF EXHAUST LOCATION.

EQUIPMENT SCHEDULE					
SYMBOL	ITEM	CAPACITY (1)	ELECTRICAL		OPTIONS
			VOLT	PH SW	
EF-1	CEILING EXHAUST FAN	80 CFM @ 0.25" ESP	120	1	WITH ROOM LIGHTS 5 MINUTE ON DELAY AFTER LIGHTS OFF
EF-2	CEILING EXHAUST FAN	125 CFM @ 0.25" ESP	120	1	WITH ROOM LIGHTS 5 MINUTE ON DELAY AFTER LIGHTS OFF
EF-3	CEILING EXHAUST FAN	450 CFM @ 0.25" ESP	120	1	WITH ROOM LIGHTS 5 MINUTE ON DELAY AFTER LIGHTS OFF
UC-1	HEATING CONVECTOR	40" LENGTH, 6" DEEP CASE MATCH EXISTING UNIT STYLE	-	-	ADJ. DAMPER AND THERMOSTATIC VALVE

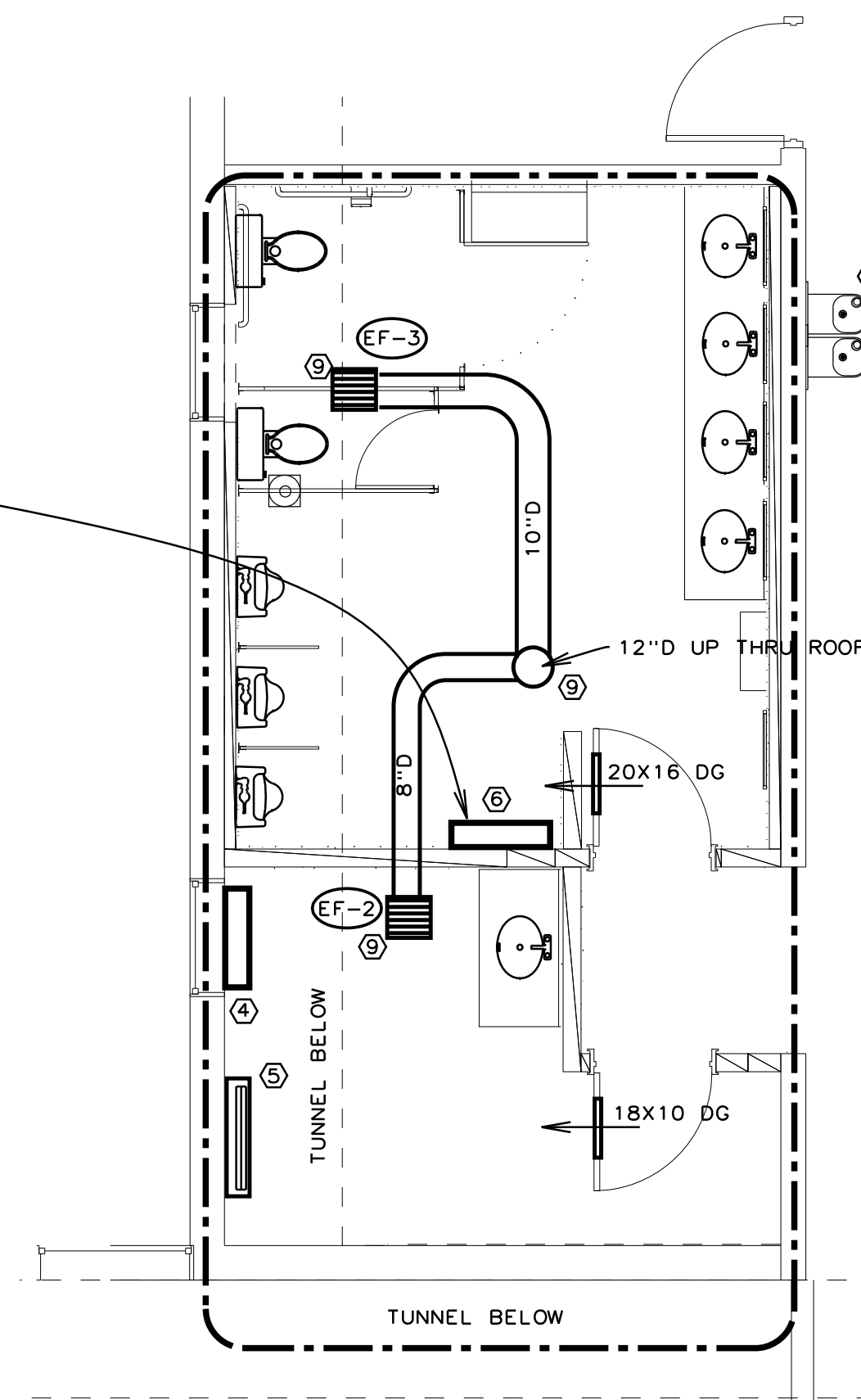
GRILLE SCHEDULE					
SYMBOL	LOCATION	SERVICE	CORE	FRAME	FINISH
DG-1	DOOR	TRANSFER	DOOR	FLANGE	PAINT TO MATCH DOOR

DRAWING NOTES:

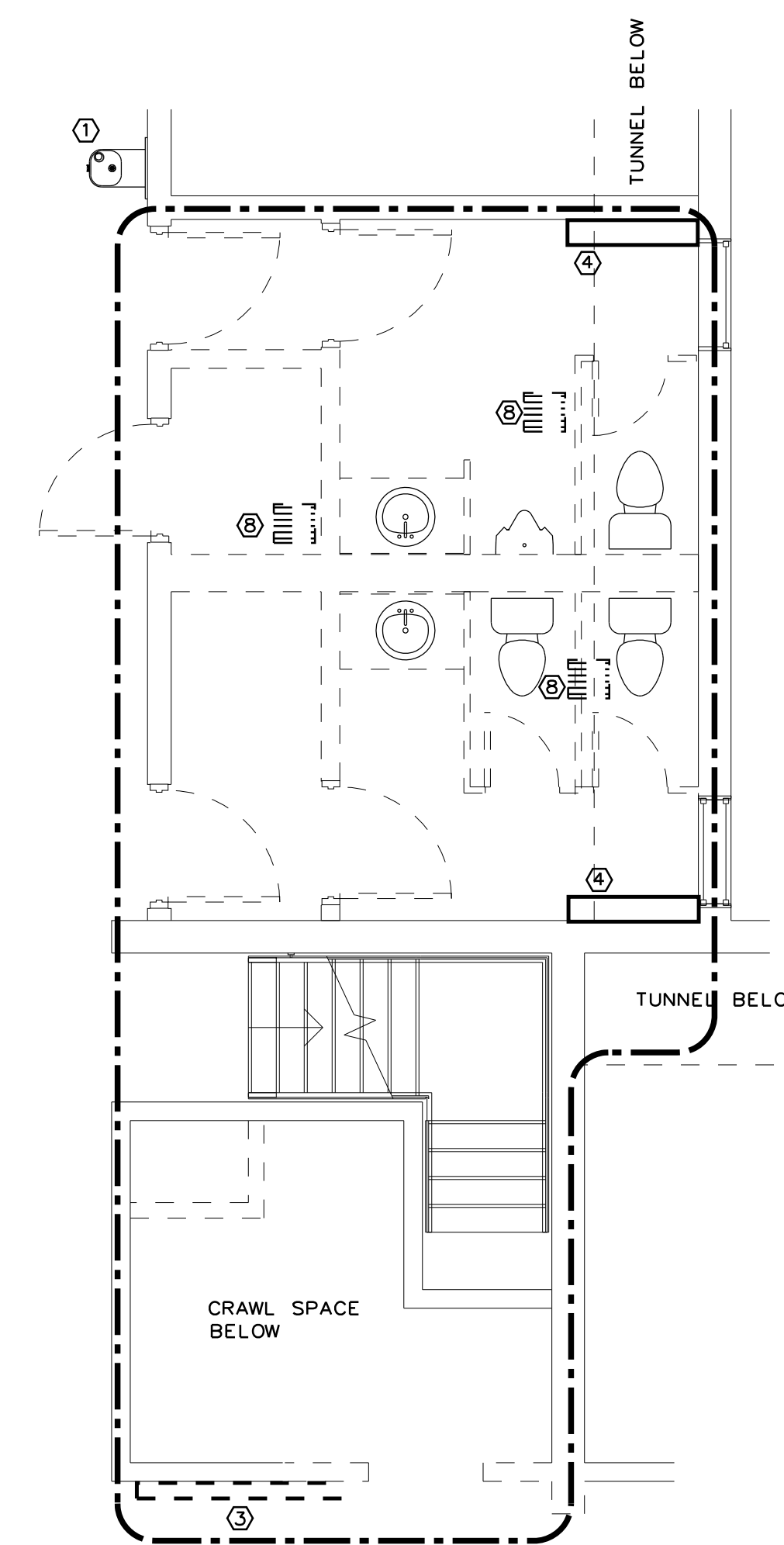
- EXACT ROUTING OF EXISTING PIPING & DUCT IS NOT KNOWN. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ROUTING OF ALL EXISTING PIPING & EXHAUST DUCT.
- COORDINATE DEMOLITION OF WALLS, FLOORS & CEILINGS REQUIRED WITH GENERAL CONTRACTOR TO MINIMIZE REQUIRED DEMOLITION AND REPAIR.
- EXTEND HEATING WATER SUPPLY & RETURN PIPING FROM LOCATION OF EXISTING CONVECTOR OR BRANCH CONNECTION TO MAIN TO NEW CONVECTOR LOCATION. RUN LINES IN TUNNEL, CRAWL SPACE, OR IN NEW WALLS WHERE POSSIBLE.



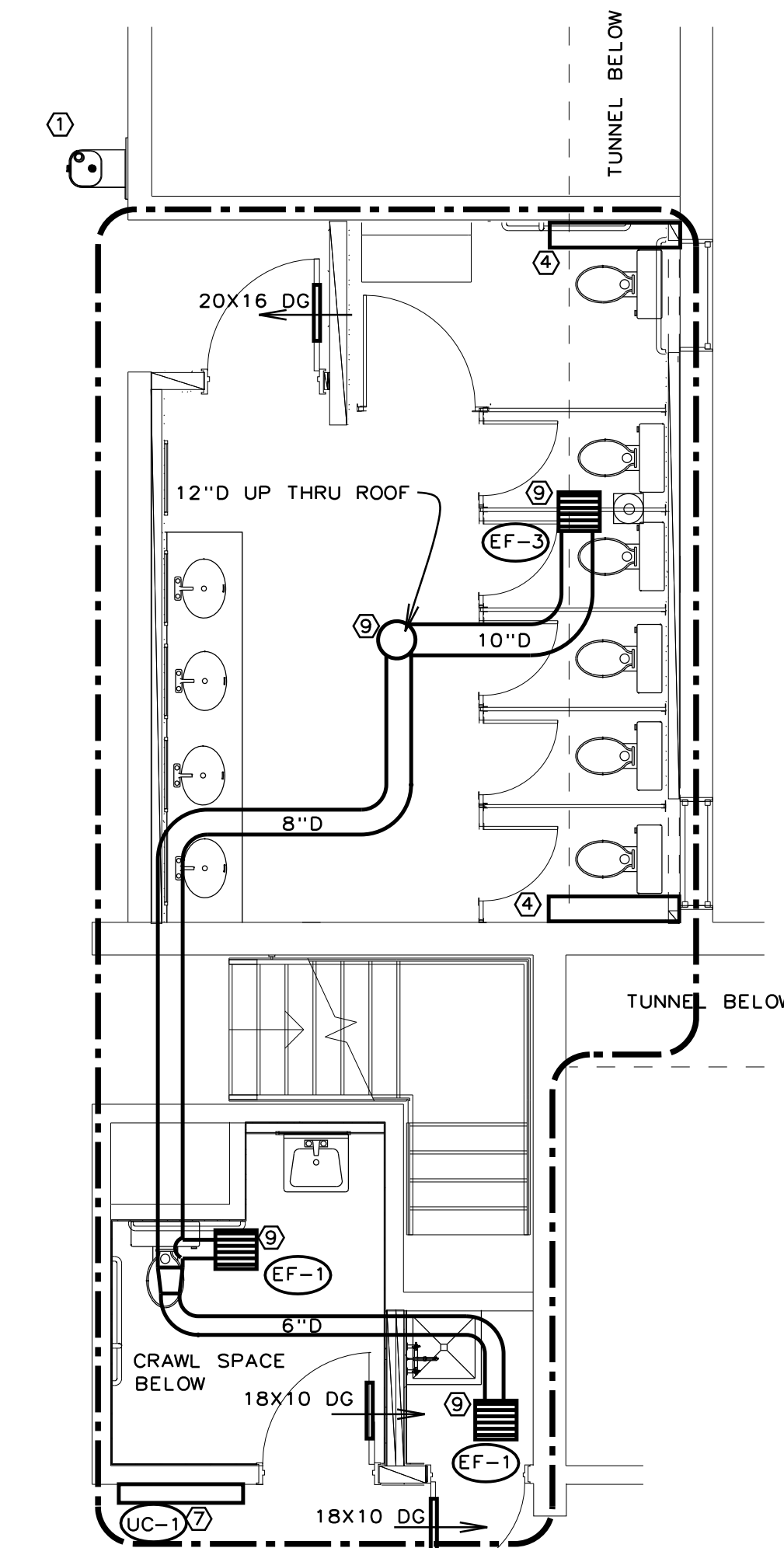
MECHANICAL DEMOLITION PLAN 1
SCALE 1/4" = 1'-0" M200



MECHANICAL PLAN 2
SCALE 1/4" = 1'-0" M200

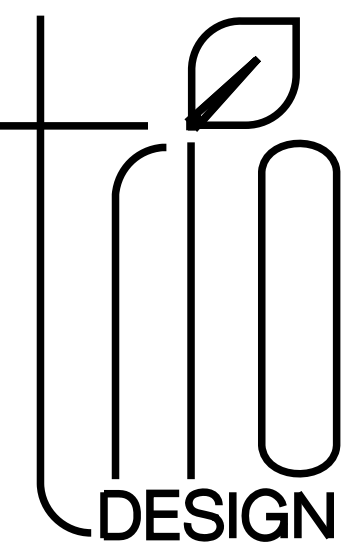
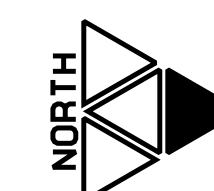
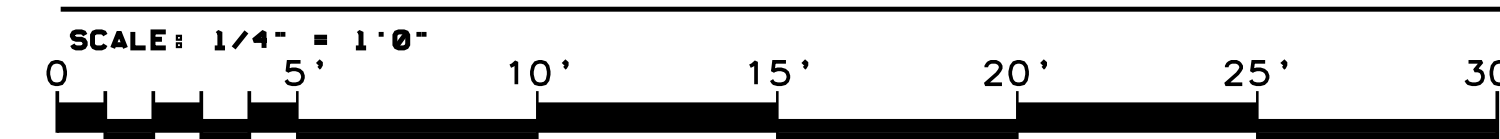


MECHANICAL DEMOLITION PLAN 3
SCALE 1/4" = 1'-0" M200

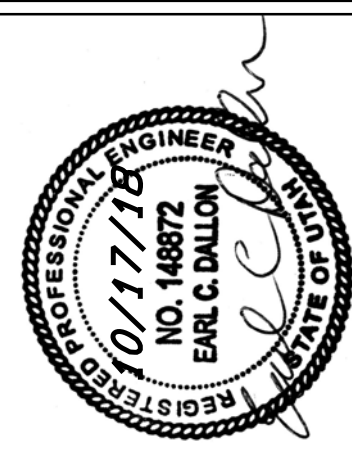


MECHANICAL PLAN 4
SCALE 1/4" = 1'-0" M200

LARGE SCALE MECHANICAL PLAN



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1225 E Ft Union Blvd. #320
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801 685-8081

PROJECT NAME:

**PARK 1, 4, 10 RESTROOM
& ADA UPGRADES**
50 SOUTH 750 WEST, OREM, UTAH

PROJECT FOR:

**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

REVISIONS:

Date: **10/17/2018**

Project Number: **505-0693**

Sheet Title:
**LARGE SCALE
MECHANICAL PLAN**

Sheet No.:

M200

KEYNOTES

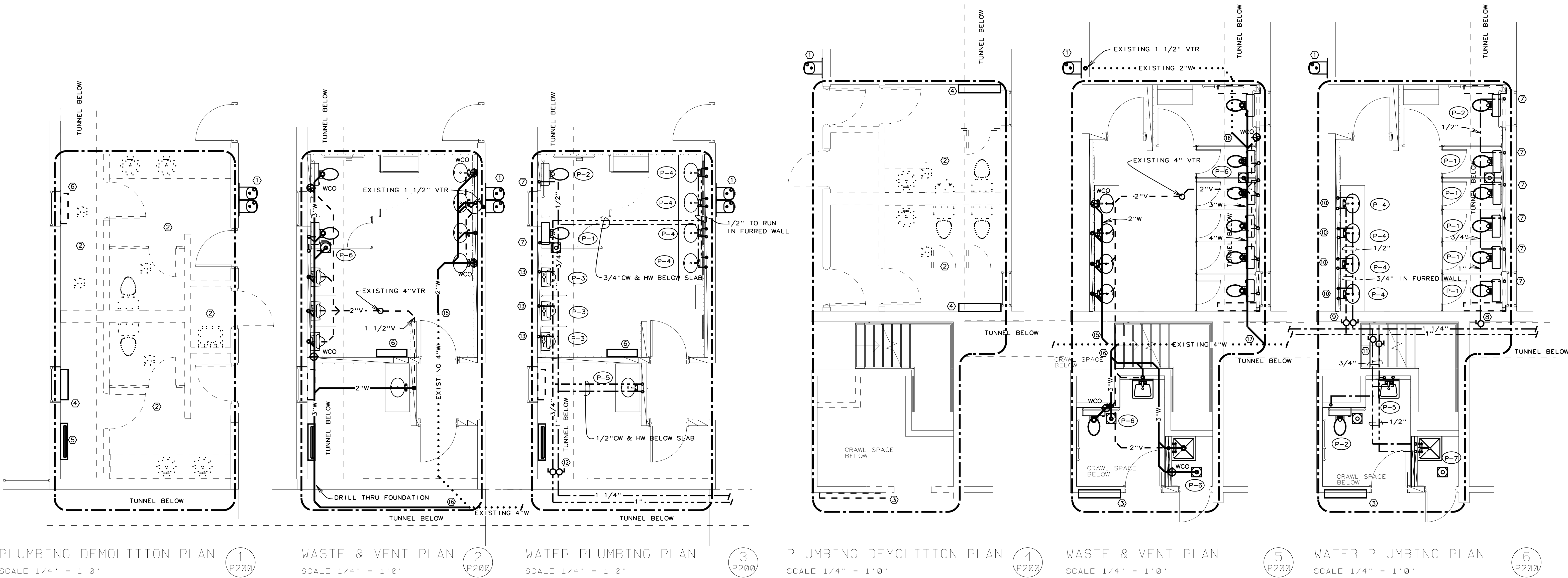
SYMBOL	NOTE
①	DRINKING FOUNTAIN AND EXISTING WASTE, VENT & WATER PIPING TO REMAIN.
②	REMOVE ALL EXISTING PLUMBING FIXTURES AND PIPING IN REMOVED WALLS. CAP BELOW FLOOR, BEHIND WALL SURFACE, OR AT ACTIVE MAIN.
③	HEATING CONVECTOR TO BE REPLACED WITH SHORTER UNIT.
④	HEATING CONVECTOR TO REMAIN. INSTALL NEW THERMOSTATIC CONTROL VALVE.
⑤	MINI SPLIT UNIT AND CONTROL SWITCH TO REMAIN.
⑥	HEATING CONVECTOR TO BE MOVED. INSTALL NEW THERMOSTATIC CONTROL VALVE.
⑦	1/2" CW TO RISE IN NEW FURRED WALL TO TOILET ABOVE.
⑧	1" CW TO CONNECT TO EXISTING 1 1/4" CW IN TUNNEL BELOW. DRILL THRU FOUNDATION WALL.
⑨	3/4" CW & HW TO CONNECT TO EXISTING 1 1/4" CW AND 1" HW IN CRAWL SPACE. DRILL THRU FOUNDATION WALL AND RISE IN NEW FURRED WALL.
⑩	1/2" CW & HW TO RUN IN NEW FURRED WALL AND RISE TO SINKS.
⑪	3/4" CW & HW TO CONNECT TO EXISTING 1 1/4" CW AND 1" HW IN CRAWL SPACE.
⑫	CONNECT 1" CW & 3/4" HW TO EXISTING 1 1/4" CW AND 1" HW IN TUNNEL BELOW.
⑬	3/4" CW TO RISE IN NEW FURRED WALL TO URINAL ABOVE.
⑭	CONNECT 1" CW & 3/4" HW TO EXISTING 1 1/4" CW AND 1" HW IN TUNNEL BELOW.
⑮	CONNECT NEW 2" W TO EXISTING 4" W HERE. FIELD VERIFY LOCATION. DRILL THRU FOUNDATION WALL.
⑯	CONNECT NEW 3" W TO EXISTING 4" W HERE. FIELD VERIFY LOCATION.
⑰	CONNECT NEW 4" W TO EXISTING 4" W HERE. FIELD VERIFY LOCATION. DRILL THRU FOUNDATION WALL.
⑱	CONNECT EXISTING 2" W TO NEW 3" W HERE. FIELD VERIFY LOCATION.

PLUMBING FIXTURE SCHEDULE

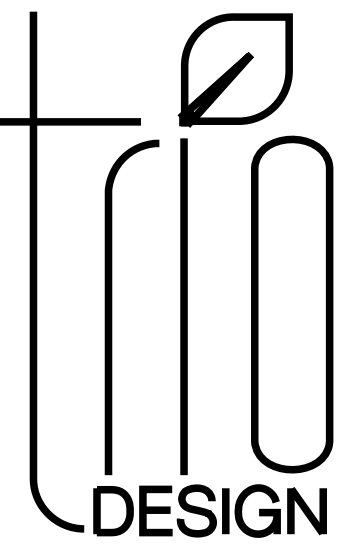
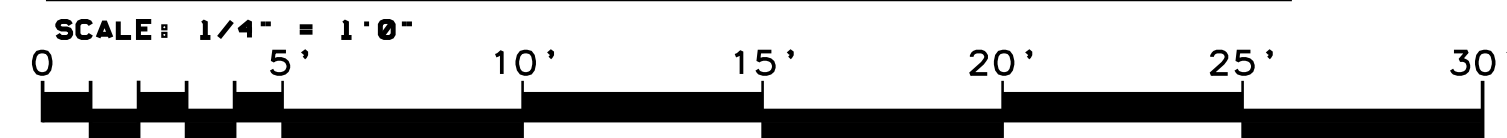
SYMBOL	FIXTURE	SUPPLY PIPE SIZE					REMARKS	TRIM		NOTE
		TRAP	WASTE	VENT	COLD	HOT		VALVE	STOP	
P-1	WATER CLOSET	INT	3	2	1/2	-	FLUSH TANK FLOOR MOUNT 1.6 GPF	INTEGRAL	YES	
P-2	WATER CLOSET, HANDICAP	INT	3	2	1/2	-	FLUSH TANK FLOOR MOUNT 1.6 GPF. TRIP LEVER ON ACCESS SIDE	INTEGRAL	YES	
P-3	URINAL	2	2	2	3/4	-	WALL MOUNT, 0.5 GPF	0.5 GPF FLUSH VALVE	INCL	
P-4	LAVATORY	1 1/4	1 1/2	1 1/2	1/2	1/2	SELF RIM, 110 F TEMPERING VALVE, GRID DRAIN	1.5 GPM	YES	1 & 2
P-5	LAVATORY	1 1/4	1 1/2	1 1/2	1/2	1/2	WALL HUNG, 110 F TEMPERING VALVE, GRID DRAIN	1.5 GPM	YES	1 & 2
P-6	FLOOR DRAIN	2	2	2	-	-	SLOPE FLOOR TO DRAIN, TRAP GUARD		-	
P-7	MDP SINK	3	3	2	1/2	1/2	FLOOR MOUNT		INCL	

DRAWING NOTES:

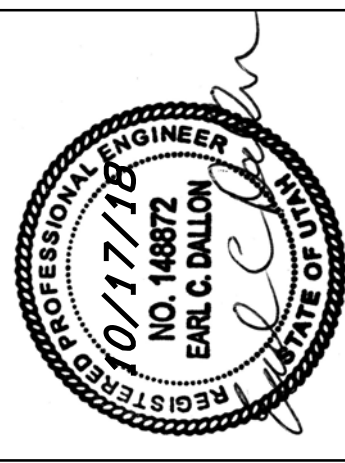
- EXACT ROUTING OF EXISTING PIPING IS NOT KNOWN. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ROUTING OF ALL EXISTING PIPING.
- COORDINATE DEMOLITION OF WALLS, FLOORS & CEILINGS REQUIRED WITH GENERAL CONTRACTOR TO MINIMIZE REQUIRED DEMOLITION AND REPAIR.
- INSTALL BLENDING VALVES ON HOT WATER TO ALL LAVATORIES PER ITEM #7 IN SCOPE OF WORK.
- PEX OR COPPER PIPE MAY BE USED FOR DOMESTIC WATER PIPING.
- HEATING WATER PIPING FOR CONVECTORS SHOWN ON SHEET M200.
- BELOW SLAB WATER PIPING TO BE RUN INSIDE 1/2" RUBATEX INSULATION.



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