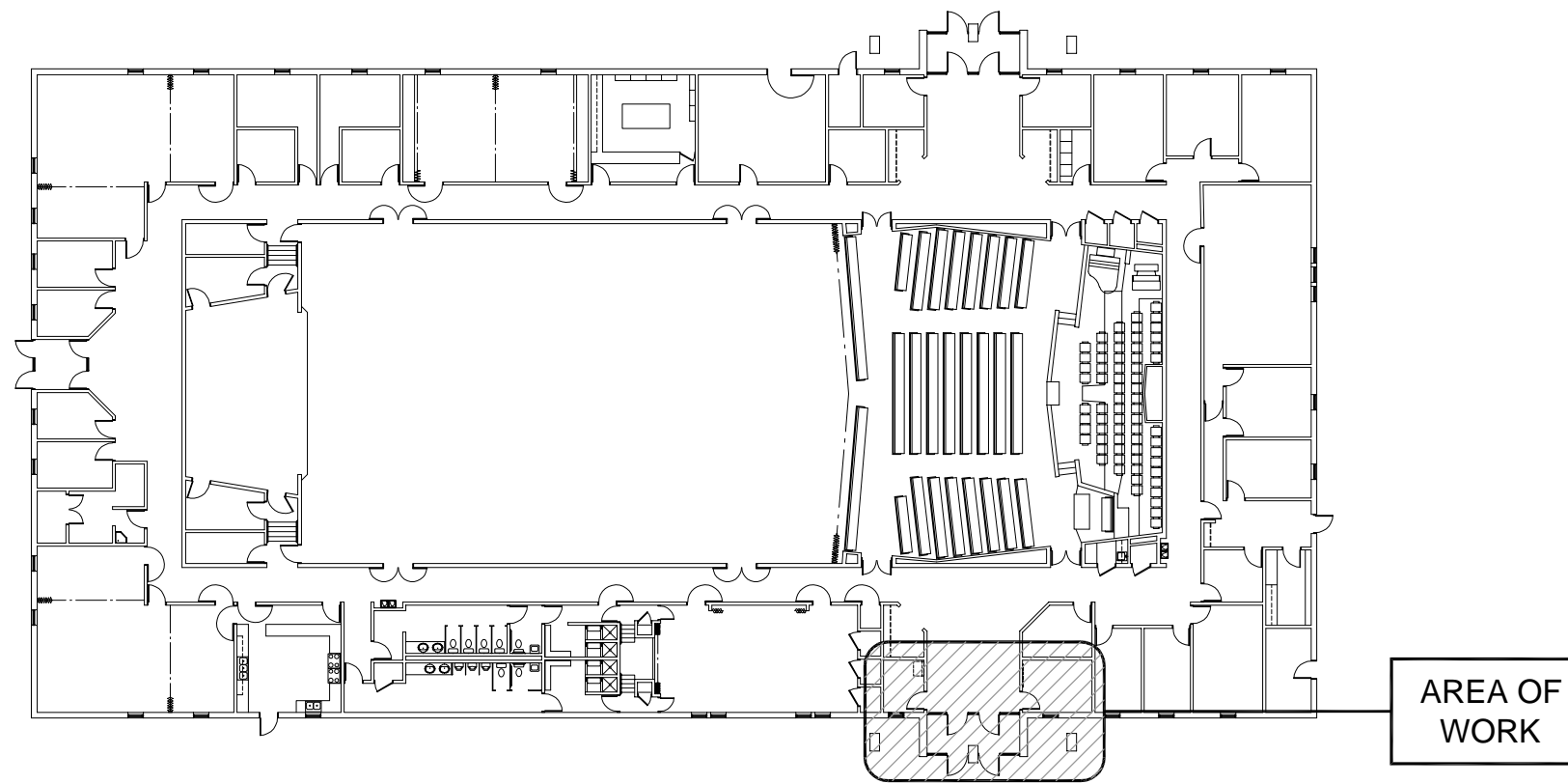
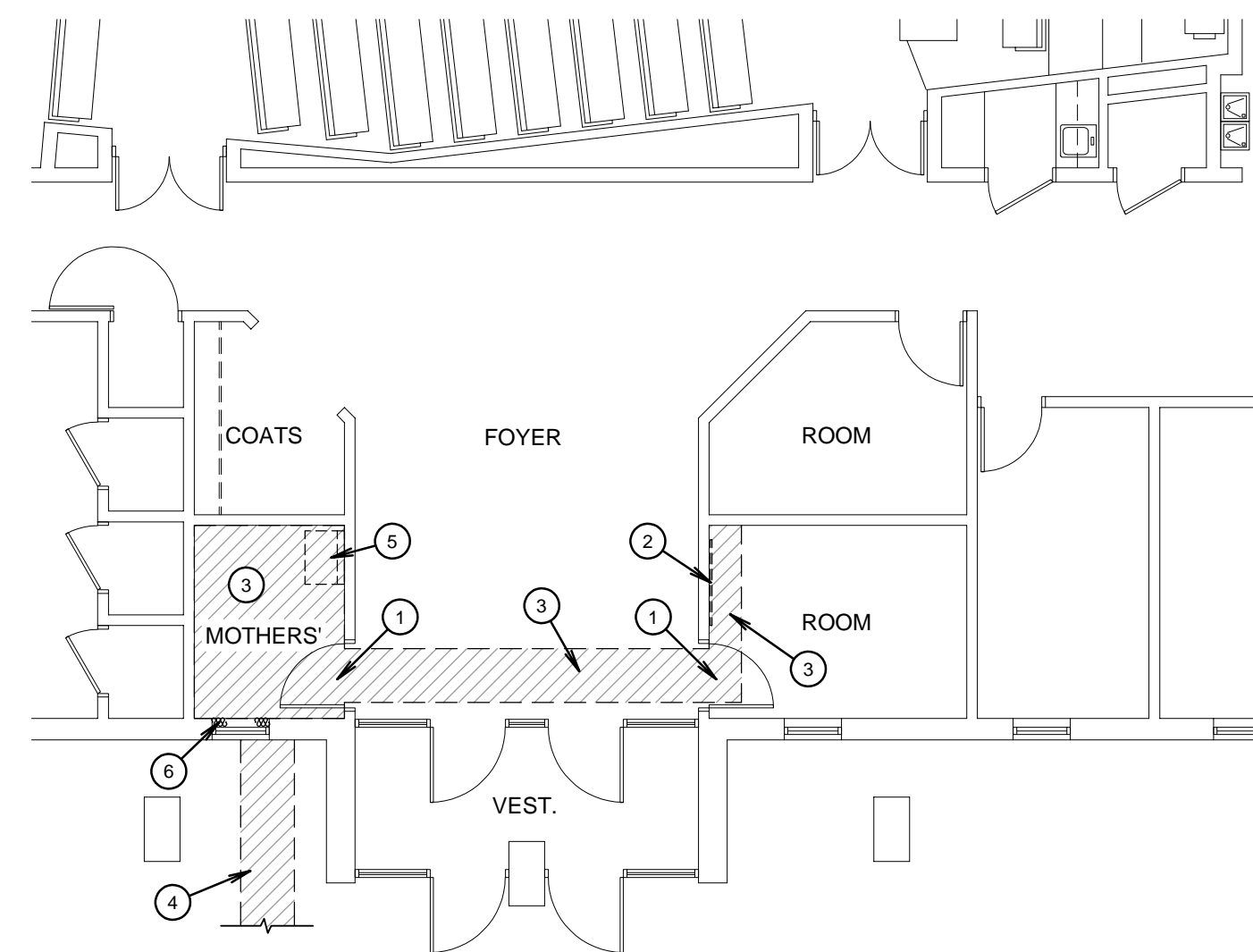
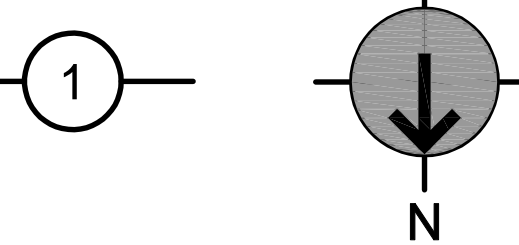


# MIDVALLEY 2,4,6 SANDY UT MIDVALLEY STAKE

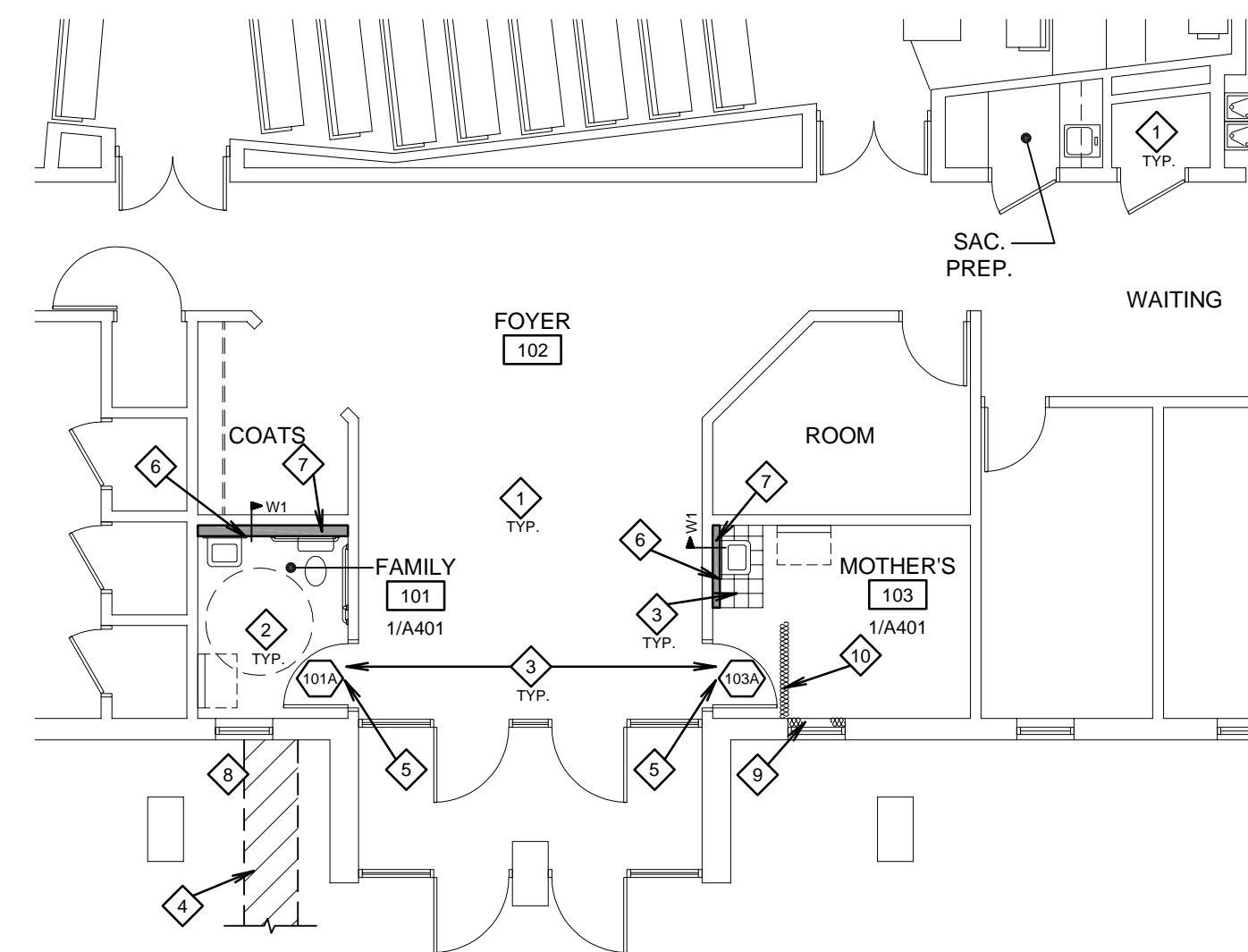
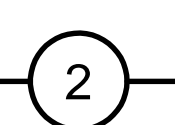
SITE: 1160 EAST 8050 SOUTH, SANDY, UTAH  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
PROJECT NUMBER: 5338409-19030101



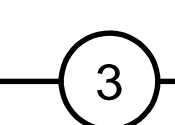
KEY FLOOR PLAN  
SCALE: 1/32" = 1'-0"



DEMOLITION FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SOUTH CLASSROOMS  
NEW FLOOR PLAN  
SCALE: 1/8" = 1'-0"



LOCATION	TYPE	NO. REQUIRED		NOTES	REMARKS
		PAIR	SINGLE		
MOTHERS' 103	P	1		①	
MOTHERS' 103		1		②	

NOTES: ① NEW DRAPE AND RODS. INSET IN WINDOW OPENING.  
② CEILING-MOUNTED PRIVACY DRAPE. SEE SPECIFICATIONS

KEYED DEMOLITION NOTES	
①	REMOVE SELECTED DOOR HARDWARE. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. SEE SHEET A601.
②	REMOVE EXISTING VISUAL DISPLAY BOARD AND SALVAGE TO OWNER.
③	REMOVE EXISTING CARPET, CONCRETE SLAB, BASE, SOILS AND OTHER WORK AS REQUIRED TO ACCOMMODATE NEW WORK. SEE MECHANICAL DRAWINGS FOR EXISTING UNDERGROUND DUCT WORK.
④	REMOVE EXISTING SOILS, LANDSCAPING, IRRIGATION AND SITE CONCRETE TO ACCOMMODATE SEWER LINE. SEE PLUMBING DRAWINGS.
⑤	REMOVE AND SALVAGE EXISTING BABY CHANGING STATION.
⑥	REMOVE EXISTING DRAPERY AND RODS

KEYED NOTES	
①	PATCH EXISTING WALLS, FLOORS AND CEILINGS TO MATCH WHERE DISTURBED BY NEW WORK.
②	REINSTALL ALL EXISTING WORK REMOVED TO ACCOMMODATE NEW SEWER INSTALLATION. INSTALL SOIL BACK FILL, 4" GRAVEL BASE AND 4" CONCRETE SLAB. RECESS 2" FOR TILE SETTING BED.
③	REINSTALL ALL EXISTING WORK REMOVED TO ACCOMMODATE NEW SEWER INSTALLATION. INSTALL SOIL BACK FILL, 4" GRAVEL BASE AND 4" LEVEL CONCRETE SLAB INFILL. PREPARE FOR CARPET INSTALLATION. NEW CARPET FURNISHED AND INSTALLED BY OWNER. MATCH EXISTING BASE.
④	COMPACT BACK FILL WHERE NEW SEWER IS INSTALLED. PATCH LANDSCAPING, SPRINKLING, MOW STRIPS, CONCRETE WALKS AND OTHER DISTURBED WORK TO MATCH EXISTING. SEE PHOTOGRAPHS THIS SHEET AND PLAN 1/P101.
⑤	NEW HARDWARE IN EXISTING DOOR AND FRAME. SEE SHEET A601.
⑥	NEW WALL-MOUNTED WATER HEATER. SEE PLUMBING DRAWINGS AND ELECTRICAL NOTES.
⑦	PATCH EXISTING SHINGLE ROOFING ABOVE TO MATCH. NEW FLASHING FOR NEW VENT. SEE ROOFING DETAIL A/A151 AND PLUMBING DRAWINGS FOR LOCATION.
⑧	PATCH EXISTING SOFFIT FOR NEW EXHAUST FAN VENT. SEE MECHANICAL DRAWINGS FOR LOCATION.
⑨	NEW DRAPERY. SEE SCHEDULE THIS SHEET.
⑩	NEW CEILING MOUNTED DRAPERY. SEE SCHEDULE THIS SHEET.

DRAWING INDEX	
ARCHITECTURAL	
A101	FLOOR PLANS
A151	REFLECTED CEILING PLANS AND ROOFING DETAILS
A401	ENLARGED RESTROOM AND MOTHERS' ROOM
A601	FINISH & DOOR SCHEDULES AND DETAILS
PLUMBING	
P101	PLUMBING PLANS
MECHANICAL	
M101	MECHANICAL PLANS
ELECTRICAL	
E101	ELECTRICAL PLANS

**GENERAL DEMOLITION NOTES**

- DEMOLITION DRAWINGS ARE SHOWN TO ASSIST CONTRACTOR ONLY, AND ARE NOT INTENDED TO BE ALL-INCLUSIVE OR TO LIMIT EXTENT OF DEMOLITION WORK REQUIRED. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND COORDINATE WITH ALL TRADES AND DRAWINGS TO DEFINE EXTENT OF DEMOLITION WORK REQUIRED TO PERFORM NEW WORK AND TO CARRY OUT THE INTENT OF THESE CONTRACT DRAWINGS.
- OWNER HAS FIRST RIGHTS TO SALVAGE.
- SEE ALL OTHER DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS, COORDINATE.
- CONTRACTOR TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE. PROVIDE HEADERS, FRAMING OR STRUCTURAL SUPPORT, SHORING TO ACCOMMODATE NEW OPENINGS, REMOVED STRUCTURE, ETC.
- WHERE SHOWN 'ZZZZZZZZ' POCHED ON PLAN, REMOVE EXISTING WALL OR PORTION OF WALL - COMPLETE. REMOVE ALL PIPING, WIRING, EQUIPMENT, AND OTHER ITEMS CONCEALED IN WALL. COORDINATE ITEMS TO BE MAINTAINED AND ABANDONED WITH ALL DISCIPLINES.

**GENERAL NOTES**

- NEW WALLS ARE SHOWN 'POCHED' TYPICAL.
- WHEN EXISTING WORK IS TO REMAIN - MECHANICAL, PLUMBING, ELECTRICAL, SOUND OR OTHER WORK WHICH IS ENCOUNTERED WITH REMOVAL OF FLOORS, WALLS OR CEILINGS, SHALL BE RE-ROUTED INTO NEW OR EXISTING WORK TO MAINTAIN CONTINUITY.
- PROVIDE SOLID BLOCKING/BACKING AT ALL DOOR STOPS, FOLDING PARTITIONS, VANITY BRACKETS, CASEWORK, RAILINGS/GRAB BARS, CHALKBOARDS, PARTITIONS, AND OTHER EQUIPMENT AND ACCESSORIES.
- EXISTING CARPET TO REMAIN. COVER WITH HEAVY REINFORCED VISQUEEN TAPED AT ALL JOINTS AND ALONG EDGES TO PROTECT DURING CONSTRUCTION.
- PATCH ALL WALLS, FLOORS AND CEILINGS TO MATCH WHERE DISTURBED BY DEMOLITION OR NEW WORK.

**INTERIOR - PATCHING/FINISHES:**  
PATCH AND REPAIR ALL EXISTING WORK DISTURBED BY THIS NEW WORK. WALLS, CEILINGS, FLOORS, TRIM AND OTHER WORK SHALL BE FINISHED TO MATCH EXISTING FINISHES FOR SPACE WHERE EXISTING WORK IS TO BE REPLACED AND FURRED OUT. REMOVE AND REINSTALL/EXTEND EXISTING FIXTURES, DEVICES, CONVECTORS, GRILLES, LOUVERS, EQUIPMENT AND OTHER EXISTING WORK TO NEW LOCATION TO ACCOMMODATE NEW WORK.

**INSULATION:**  
CEILINGS: INSTALL EQUIVALENT TO R-38 INSULATION AT ALL NEW ATTIC OR DISTURBED ATTIC AREAS. PROVIDE COMPLETE ENVELOPE.  
WALLS: REPLACE REMOVED INSULATION WITH EQUIVALENT TO MATCH EXISTING AT EXISTING WALLS.

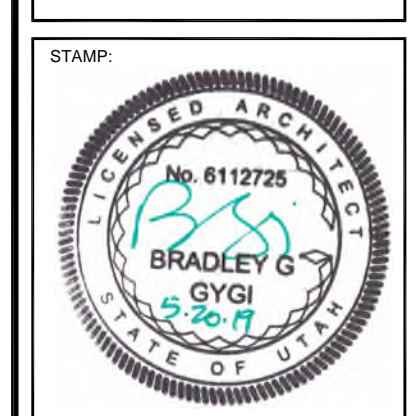
**CAULKING:**  
CAULK ALL NEW AND EXISTING DOOR AND WINDOW FRAMES AT AREAS OF NEW WORK. ENTIRE PERIMETER - EXTERIOR AND INTERIOR. CAULK PRIOR TO PAINTING AND FINISH WORK.

**FIRESTOPPING:**  
FIRESTOP ALL WALL, FLOOR AND CEILING PENETRATIONS TO COMPLY WITH CURRENT CODES.

**STRUCTURAL:**  
MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE. PROVIDE HEADERS, FRAMING OR STRUCTURAL SUPPORT TO ACCOMMODATE NEW OPENINGS, REMOVED STRUCTURE, ETC.

WALL TYPES SCHEDULE	
MARK	DESCRIPTION
W-1	2x4 STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD AT EXPOSED SIDE. 6" SPACE FROM EXISTING CMU WALL. FULL THICK ACOUSTICAL INSULATION. CAULK TOP AND BOTTOM.
NOTE: ALL WALL TYPES: WHERE WALLS ARE TO RECEIVE CERAMIC WALL TILE, INSTALL 5/8" GLASS MAT GYPSUM TILE BACKER INSTEAD OF 5/8" GYPSUM BOARD.	

**bradley gygi architect & associates, pllc**  
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Salt Lake City, Utah 84106  
801.747.2451



MIDVALLEY 2,4,6  
SANDY UT MIDVALLEY STAKE  
1106 EAST 8050 SOUTH  
SANDY, UTAH

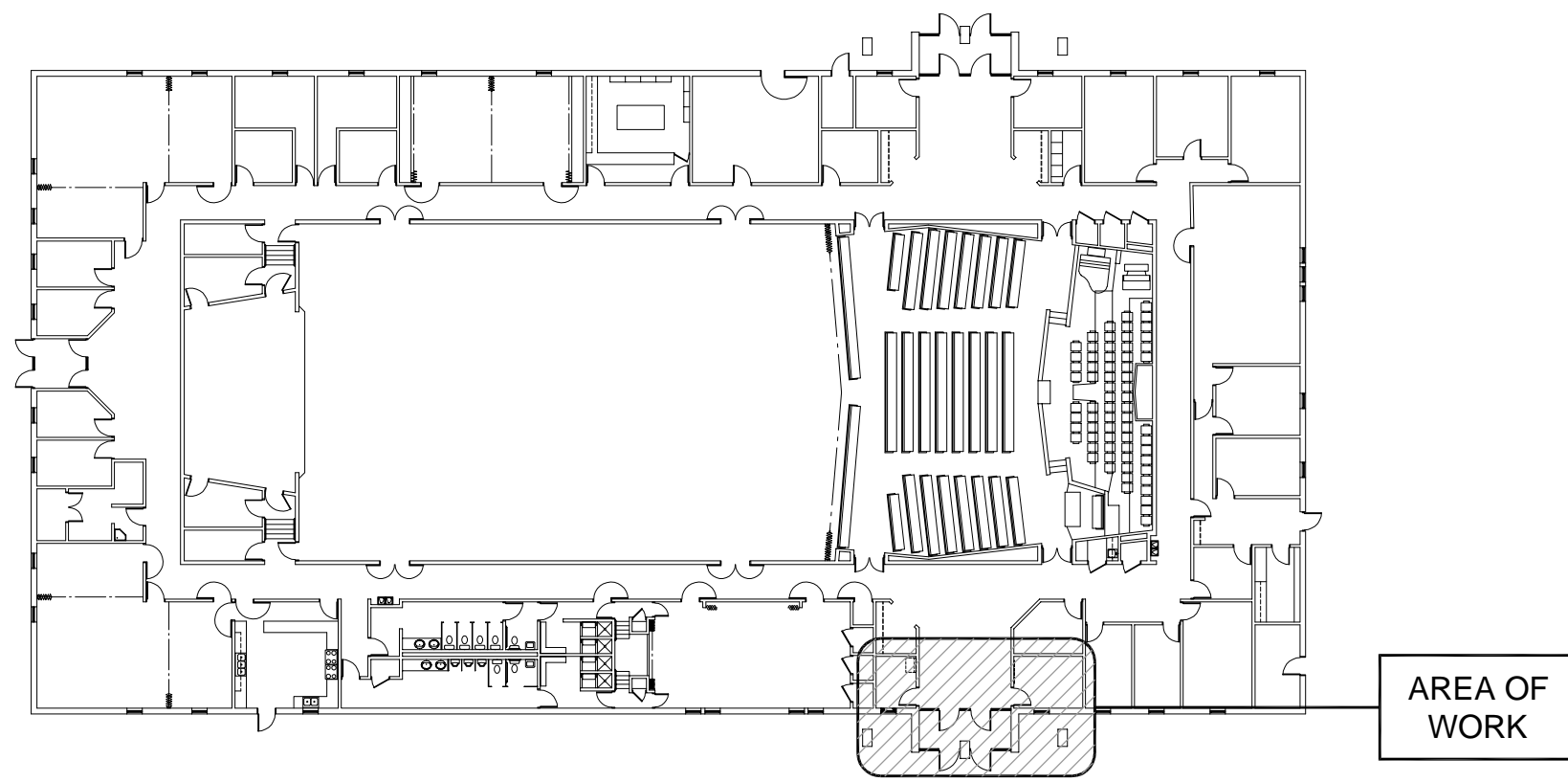
PROJECT FOR:  
THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

PROJECT NUMBER: 5338409-19030101
DATE: 20 MAY 2019
PROPERTY NUMBER: 5338409
DRAWN BY: BGG
CHECKED: BGG

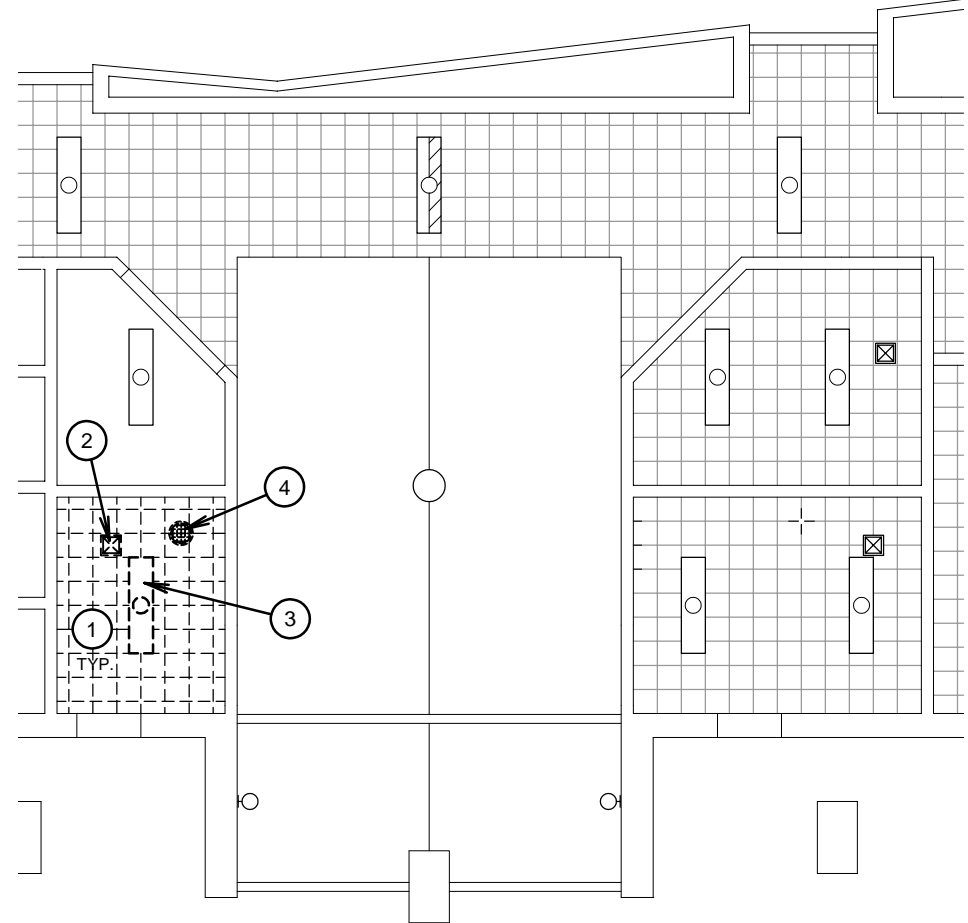
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FLOOR PLANS  
AND NOTES

SHEET:  
**A101**





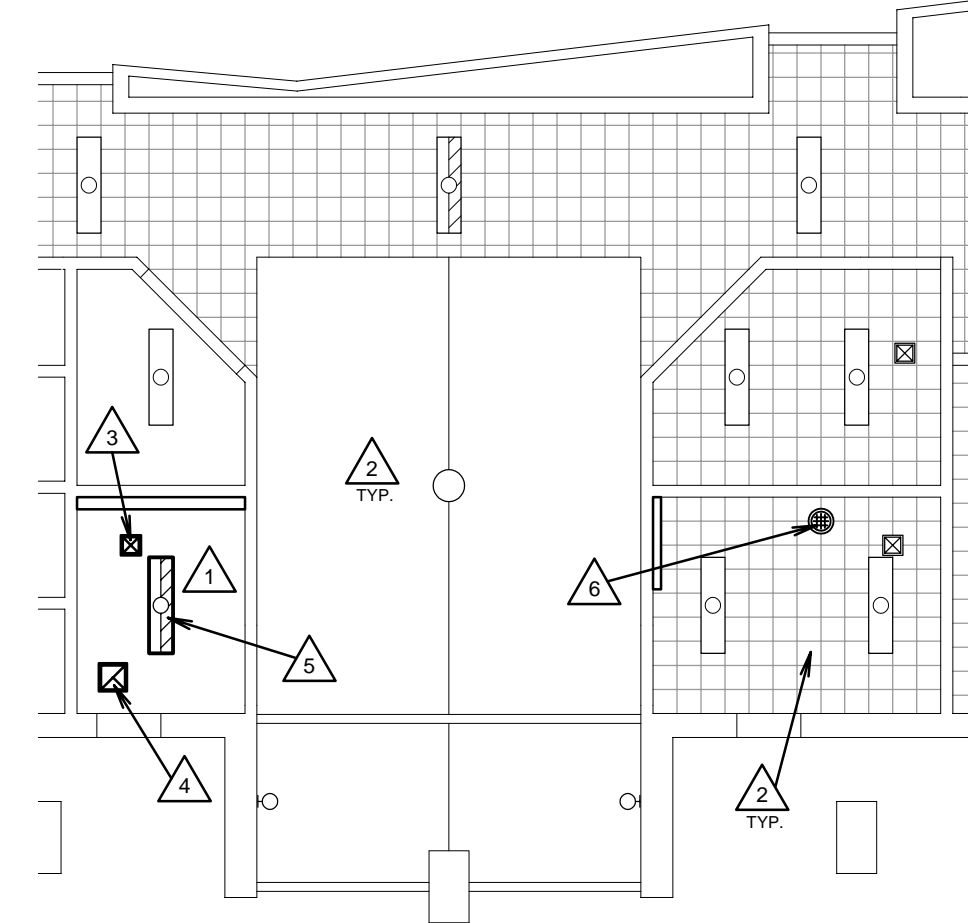
KEY PLAN



DEMOLITION REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

1



NEW REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

2

LEGEND	
LIGHT FIXTURES	
SMOKE DETECTORS	
MECHANICAL AIR GRILLES	
AUDIO SPEAKERS	
FOLDING PANEL PARTITIONS	
CEILING ACCESS DOORS	

GENERAL CEILING NOTES

- EXISTING AREAS:**
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING PIPING, WIRING, DUCT WORK AND OTHER EXISTING WORK IN EXISTING FRAMING AND ATTIC SPACES AND COORDINATE WITH NEW WORK.
  - FILL HOLES AND PATCH CEILING WHERE EXISTING LIGHT FIXTURES, GRILLES, DIFFUSERS, FURRING OR OTHER WORK IS REMOVED OR WHERE NEW WORK DOES NOT COVER EXISTING OPENINGS COMPLETELY.
  - REMOVE AND REINSTALL EXISTING LIGHT FIXTURES, GRILLES, DIFFUSERS, SPEAKERS AND OTHER EXISTING WORK AS REQUIRED TO ACCOMMODATE PAINTING OF CEILING TILE AND OTHER NEW WORK.

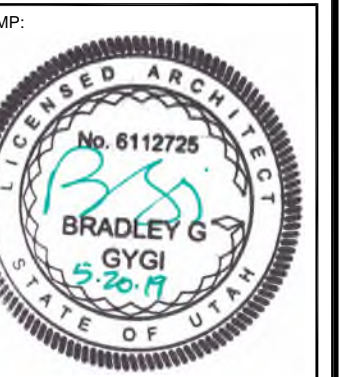
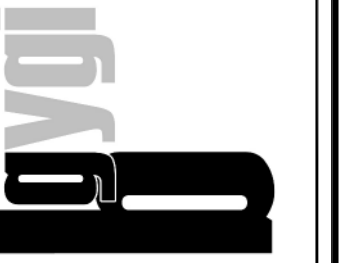
KEYED CEILING DEMOLITION NOTES

- REMOVE EXISTING CEILING TILE, EXISTING GYPSUM BOARD CEILING AND SUSPENSION SYSTEM TO REMAIN. EXISTING ATTIC INSULATION ABOVE TO REMAIN.
- REMOVE EXISTING HVAC DIFFUSER AND SALVAGE TO OWNER. SEE MECHANICAL DRAWINGS.
- REMOVE EXISTING LIGHT FIXTURE.
- REMOVE EXISTING SPEAKER IN CEILING AND SALVAGE FOR REINSTALLATION.

CEILING KEYED NOTES

- PATCH EXISTING OR LAMINATE NEW 5/8" GYPSUM BOARD. DAUB-KNOCK-DOWN TEXTURE AND PAINT. REINSTALL OR REPLACE AND DISTURBED EXISTING ATTIC INSULATION ABOVE.
- EXISTING CEILING TILE AND BACKER TO REMAIN. PATCH TO MATCH WHERE DISTURBED BY THIS NEW WORK.
- NEW HVAC DIFFUSER IN EXISTING LOCATION. MODIFY EXISTING DUCT WORK AS REQUIRED. SEE MECHANICAL DRAWINGS.
- NEW EXHAUST FAN GRILLE. SEE MECHANICAL DRAWINGS.
- NEW LIGHT FIXTURE AND WALL SENSOR. SEE ELECTRICAL DRAWINGS.
- REINSTALL SALVAGED EXISTING SPEAKER IN CEILING IN NEW LOCATION. SEE ELECTRICAL DRAWINGS.

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MIDVALLEY 2.4.6  
 SANDY UT MIDVALLEY STAKE  
 1106 EAST 8050 SOUTH  
 SANDY, UTAH

PROJECT FOR:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

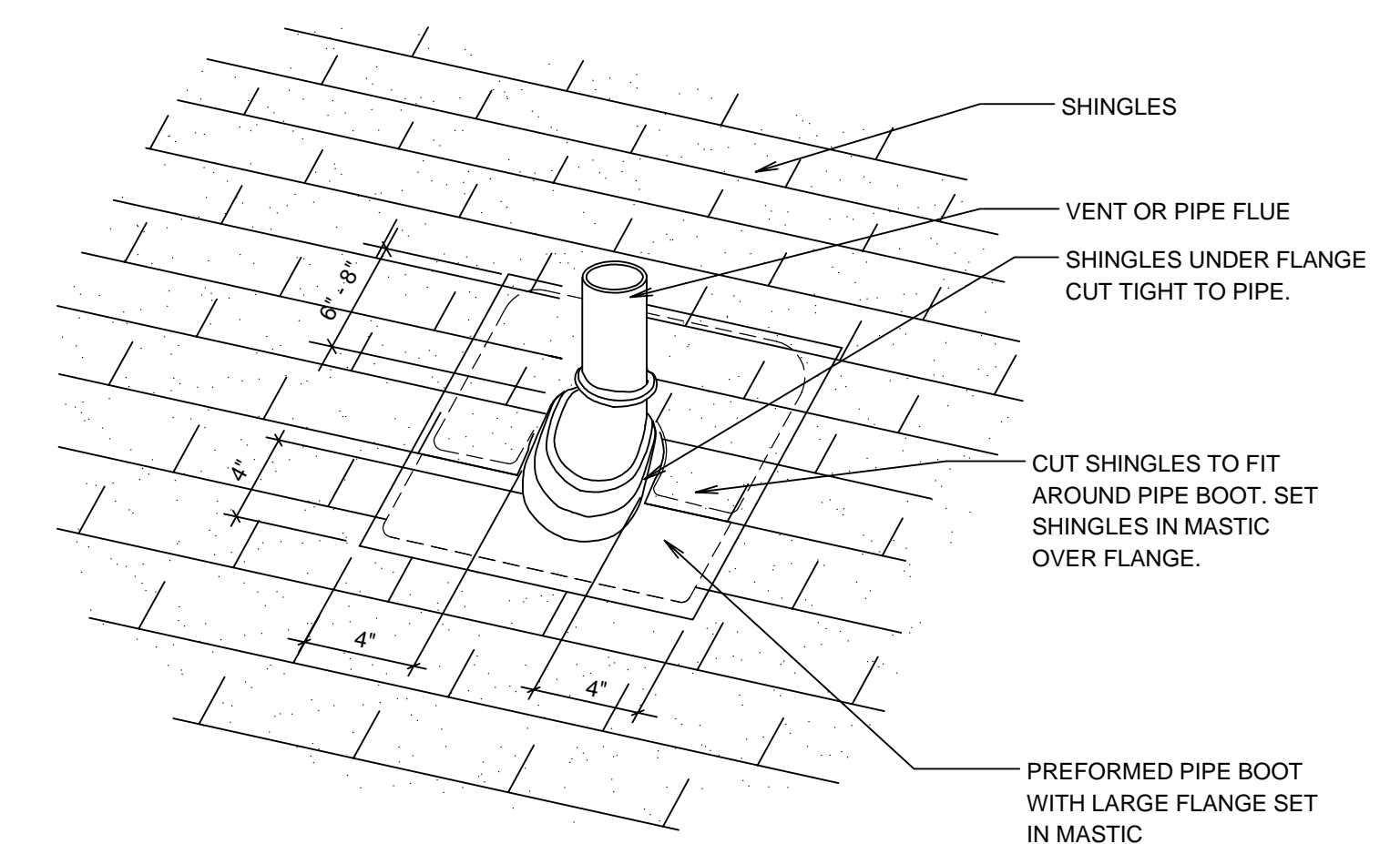
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 DATE:  
 20 MAY 2019  
 PROPERTY NUMBER:  
 5338409

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 CHECKED: BGG

SHEET TITLE:  
**REFLECTED CEILING PLANS AND ROOFING DETAILS**

SHEET:

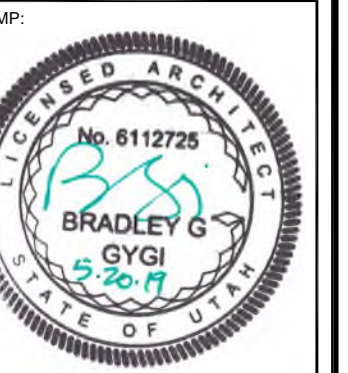
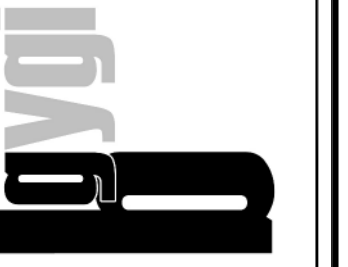
A151



SLOPED ROOF PIPE BOOT FLANGE DETAIL

NOT TO SCALE

A



MIDVALLEY 2.4.6  
 SANDY UT MIDVALLEY STAKE  
 1106 EAST 8050 SOUTH  
 SANDY, UTAH

PROJECT FOR:  
 THE CHURCH OF  
**JESUS CHRIST**  
 OF LATTER-DAY SAINTS

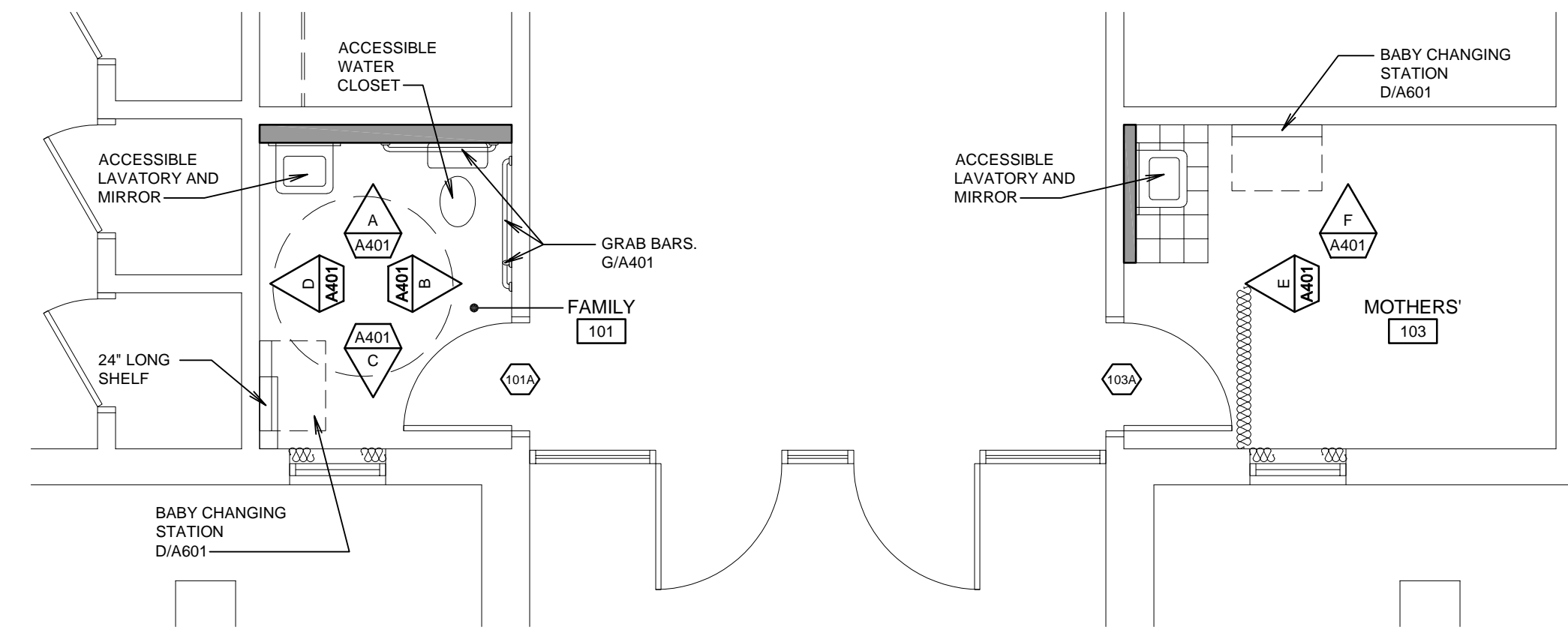
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 BGG

SHEET TITLE:  
**ENLARGED  
 RESTROOM  
 AND MOTHERS'  
 ROOM**

SHEET:

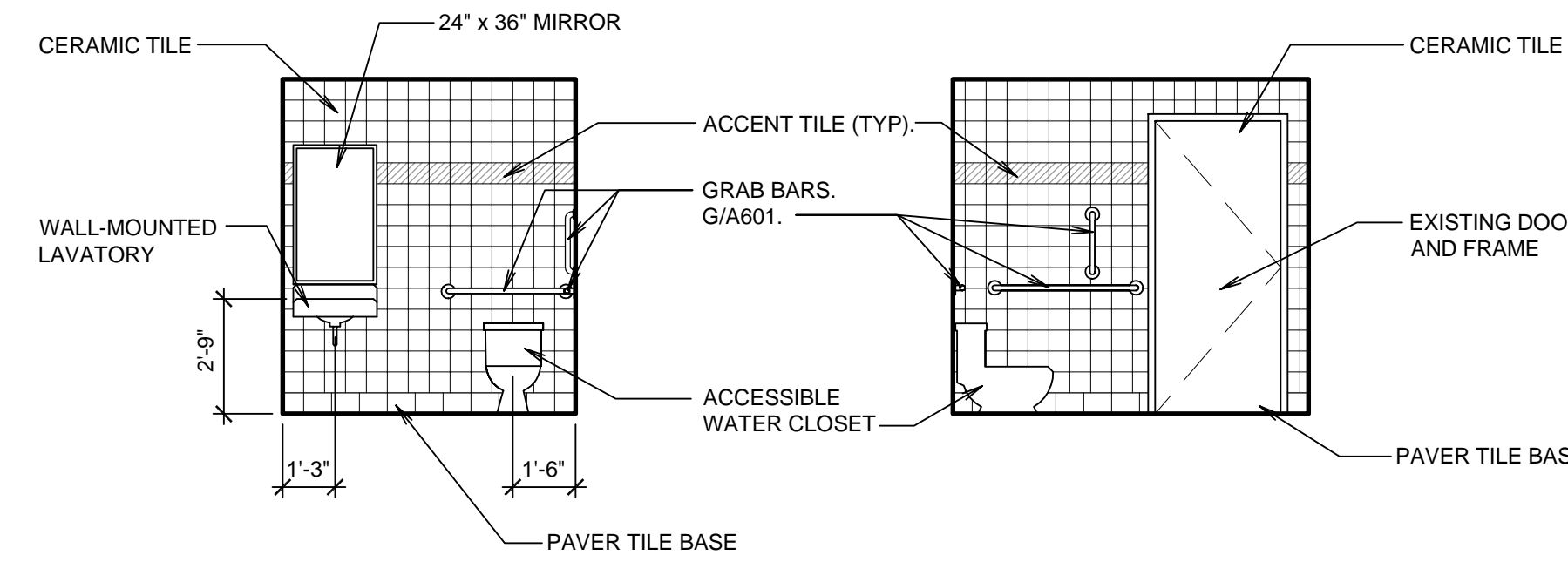
**A401**



**ENLARGED FAMILY RESTROOM 101  
 AND MOTHERS' ROOM 103 PLAN**

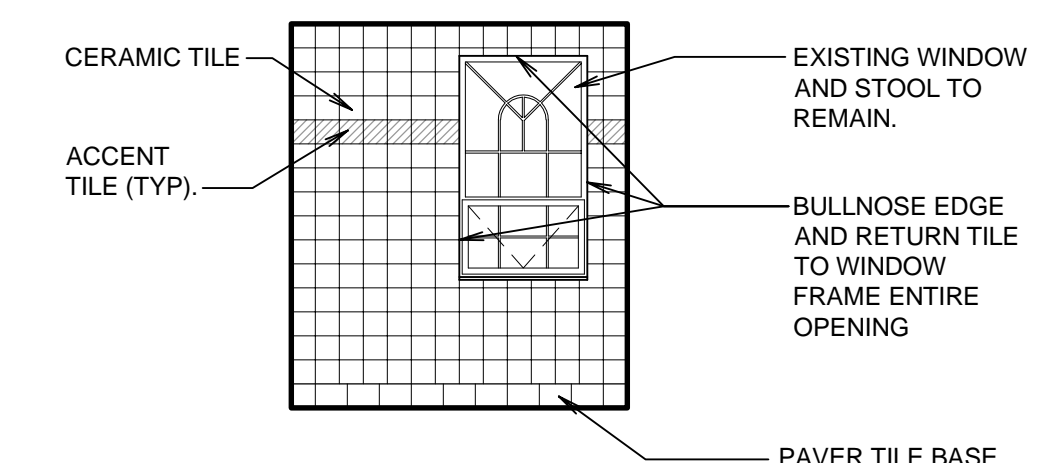
SCALE: 1/4" = 1'-0"

1

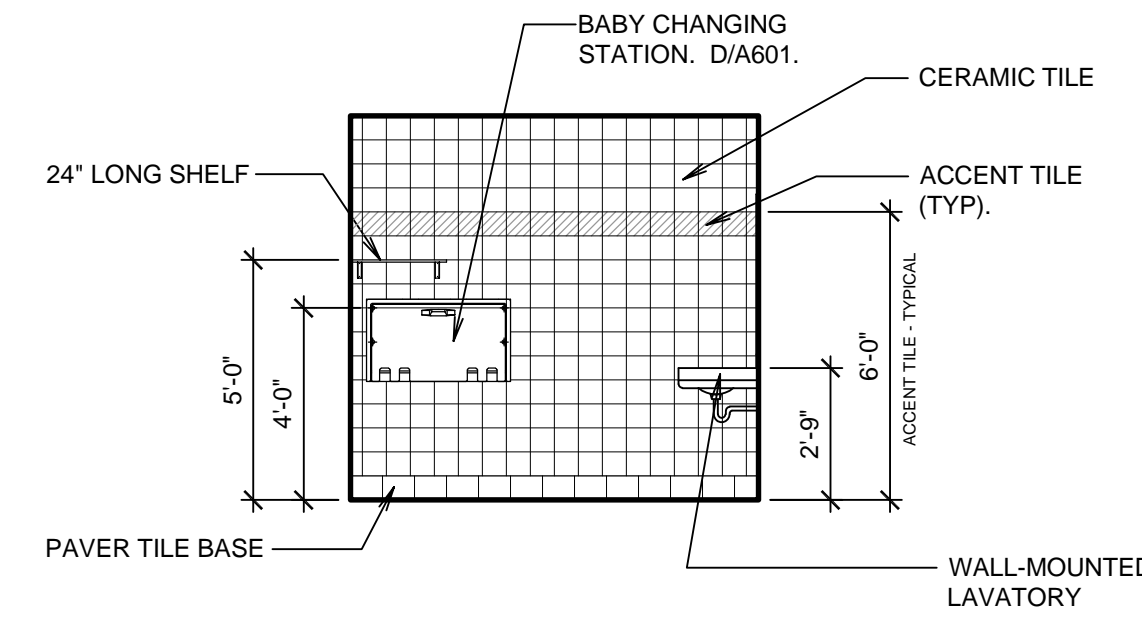


**ELEVATION A**  
 SCALE: 1/4" = 1'-0"

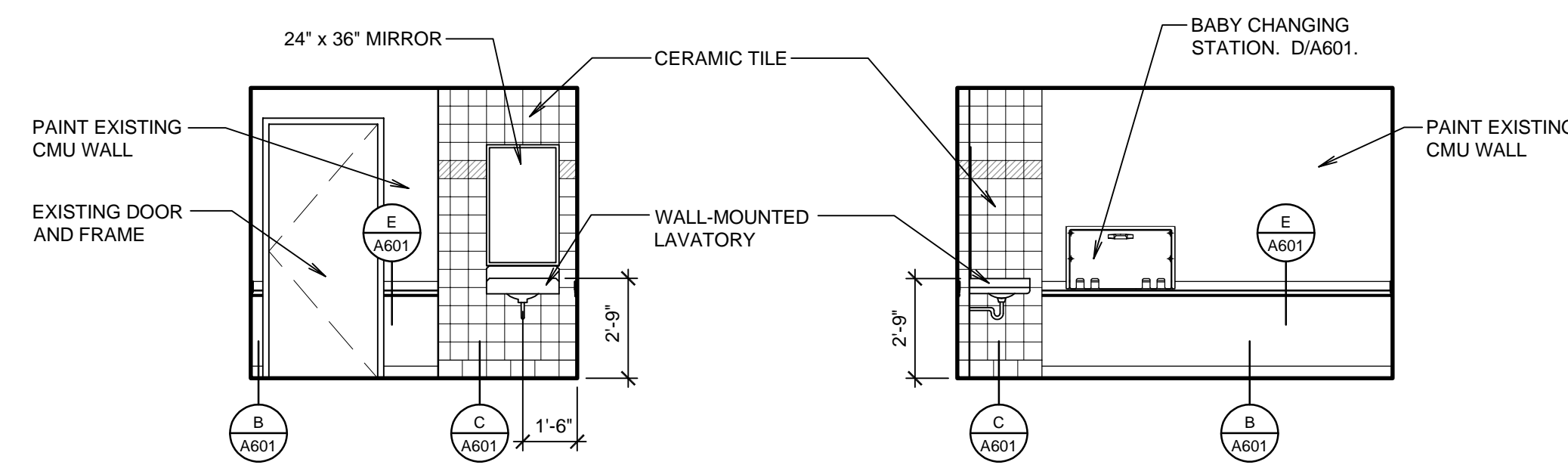
**ELEVATION B**  
 SCALE: 1/4" = 1'-0"



**ELEVATION C**  
 SCALE: 1/4" = 1'-0"

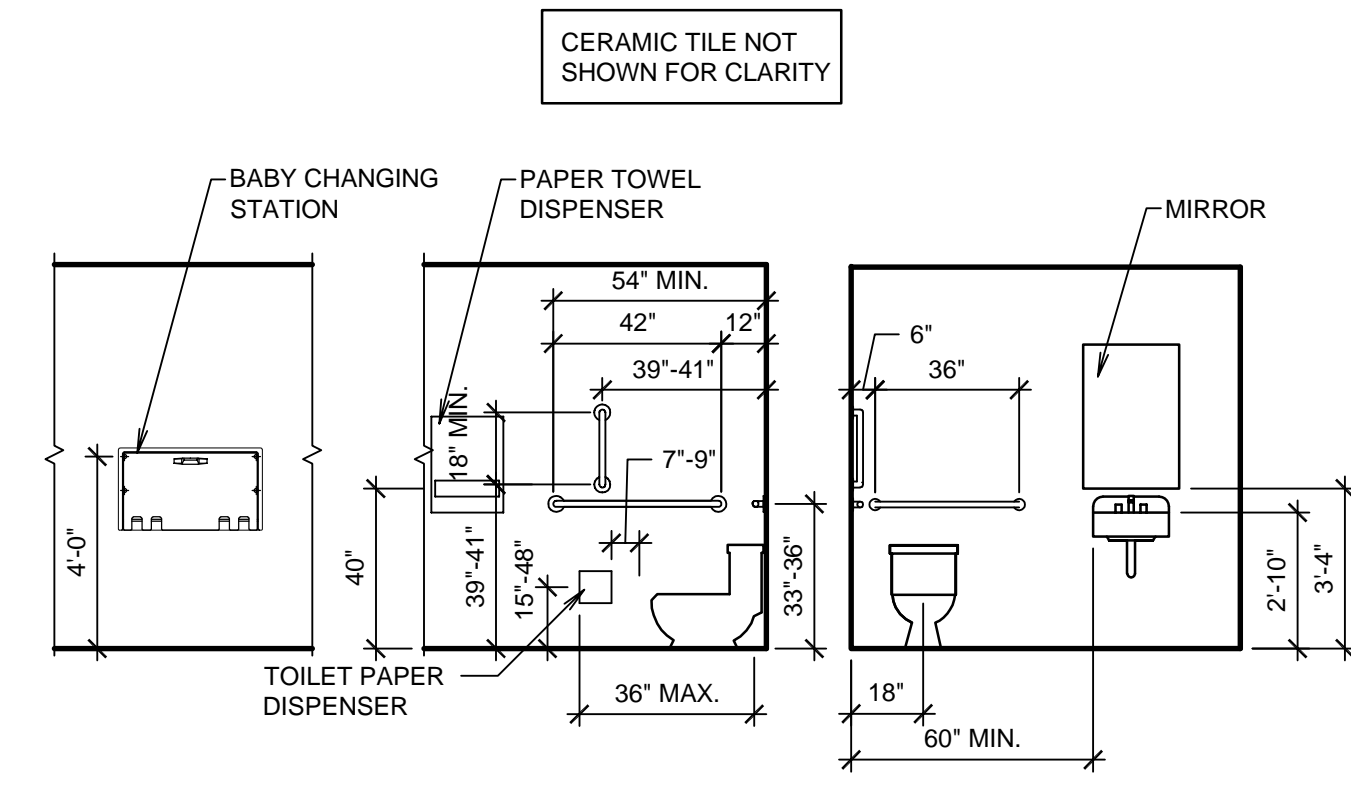


**ELEVATION D**  
 SCALE: 1/4" = 1'-0"



**ELEVATION E**  
 SCALE: 1/4" = 1'-0"

**ELEVATION F**  
 SCALE: 1/4" = 1'-0"



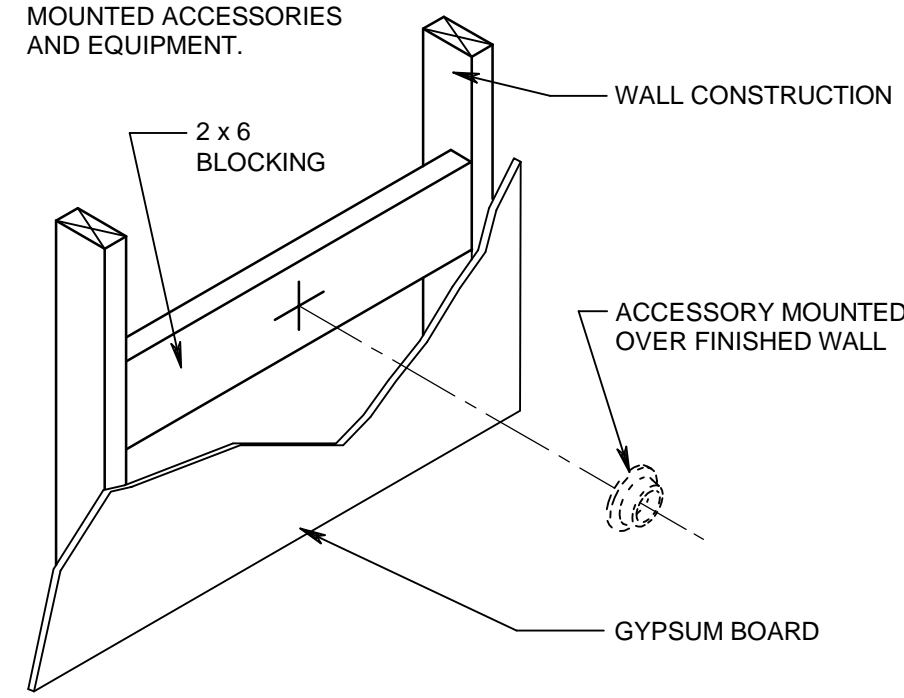
**TYPICAL ACCESSORY  
 MOUNTING LOCATIONS**

SCALE: 1/4" = 1'-0"

G



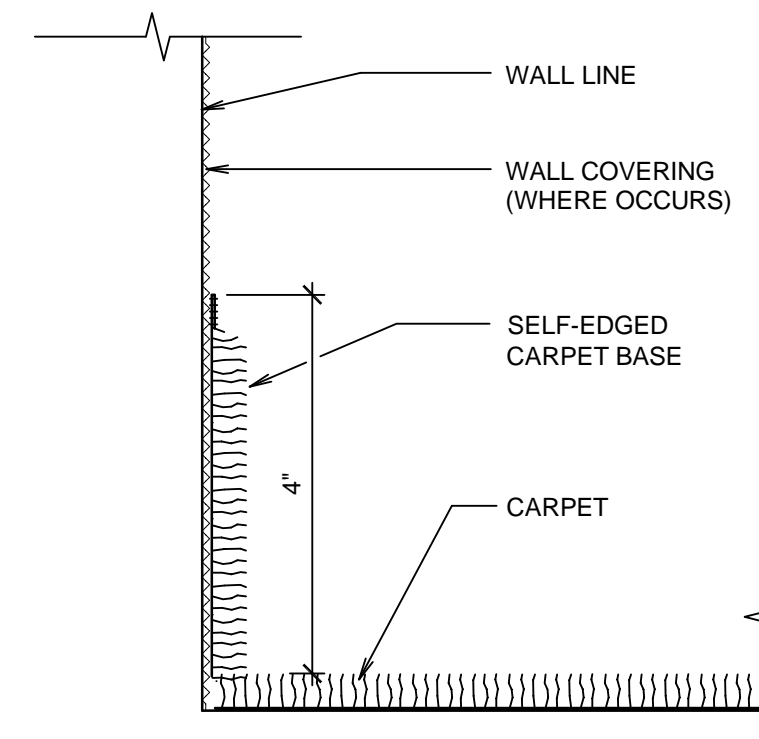
NOTE:  
TYPICAL BLOCKING  
REQUIRED BEHIND WALL  
MOUNTED ACCESSORIES  
AND EQUIPMENT.



**ACCESSORY MOUNTING DETAIL**

SCALE: NONE

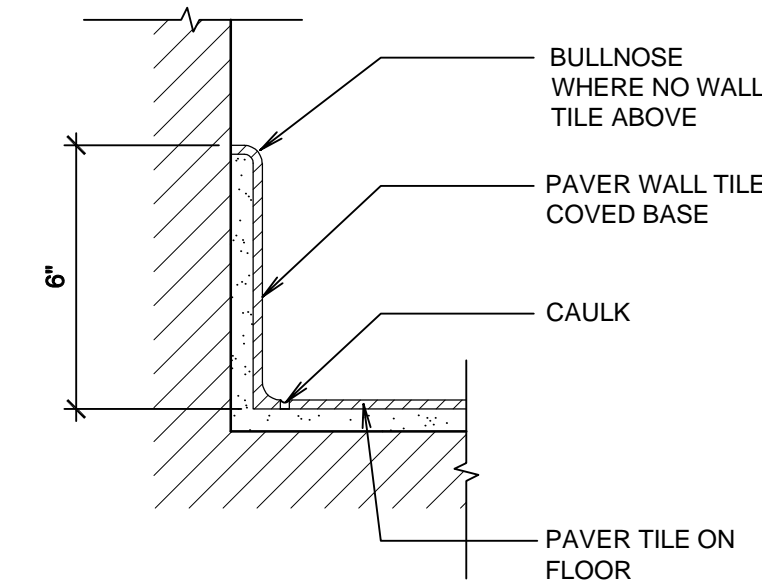
**A**



**CARPET BASE DETAIL**

SCALE: HALF

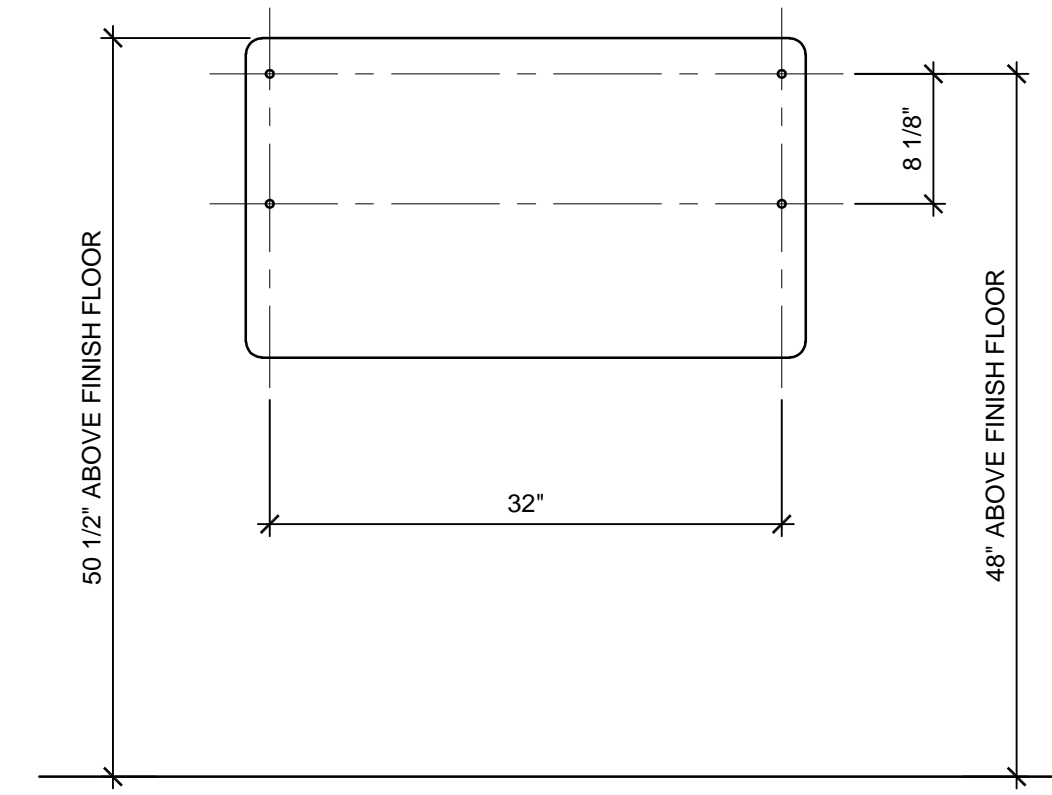
**B**



**TYPICAL TILE BASE**

SCALE: 1 1/2" = 1'-0"

**C**



**BABY CHANGING STATION DETAIL**

SCALE: 1" = 1'-0"

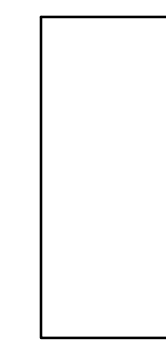
**D**



**CHAIR RAIL**

SCALE: FULL

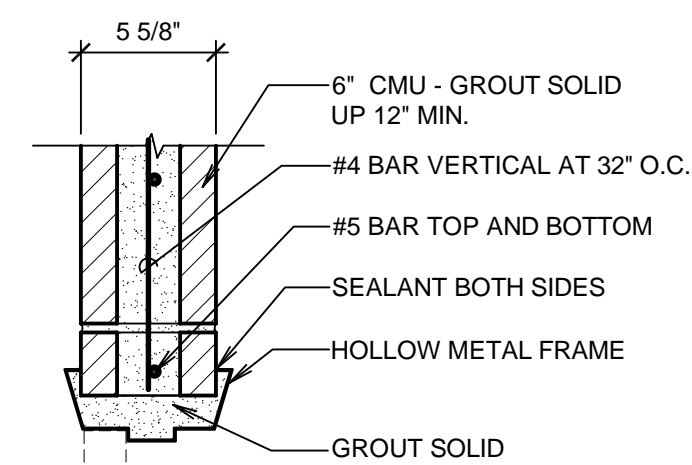
**E**



**SOLID CORE WOOD DOOR**

**W**

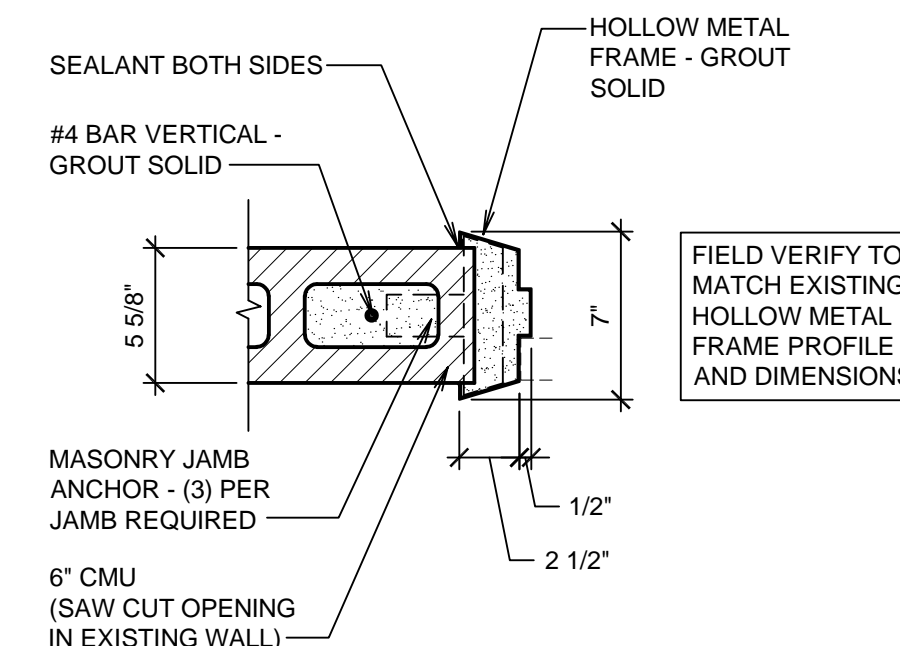
**DOOR TYPES**



**HEAD**

SCALE: 1 1/2" = 1'-0"

**E**



**JAMB**

SCALE: 1 1/2" = 1'-0"

**F**

**FINISH SCHEDULE**

ROOM	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	SPECIAL TRIM OR EQUIPMENT
<b>MAIN LEVEL</b>							
101	FAMILY RESTROOM	F1	B1	W1	C1	7'-11"±	S1,S2,S3,S4
102	FOYER	F2,F3	B2,B3	W2,W3	C2	VARIES	
103	MOTHERS' ROOM	F2,F3,F4	B1,B3	W1,W2,W3	C2	7'-10 1/2"±	S1,S3,S4,S5,S6

**F FLOOR**

- F1 8" x 8" PAVER TILE
- F2 CARPET PATCH BY OWNER
- F3 EXISTING CARPET TO REMAIN
- F4 8"x8" PAVER TILE WITH METAL EDGE AT CARPET

**B BASE**

- B1 8" x 6" COVED PAVER TILE BASE. C/A601
- B2 CARPET BASE PATCH BY OWNER. B/A601
- B3 EXISTING - PATCH TO MATCH WHERE DISTURBED OR DAMAGED BY THIS NEW WORK.

**W WALLS**

- W1 CERAMIC TILE. SEE ELEVATIONS SHEET A401.
- W2 NEW OR EXISTING CMU. PAINT ALL NEW CMU AND EXISTING CMU AT AREAS OF NEW WORK TO MATCH. STOP AT END OF WALLS OR DOOR JAMBS.
- W3 EXISTING TO REMAIN. PATCH TO MATCH WHERE DISTURBED BY THIS NEW WORK.

**C CEILING**

- C1 REMOVE EXISTING CEILING TILE. EXISTING GYPSUM BOARD CEILING AND SUSPENSION SYSTEM TO REMAIN. PATCH EXISTING OR LAMINATE NEW 5/8" GYPSUM BOARD. DAUB-KNOCK-DOWN TEXTURE AND PAINT.
- C2 EXISTING TO REMAIN. PATCH TO MATCH WHERE DISTURBED BY THIS NEW WORK.

**S SPECIAL TRIM OR EQUIPMENT**

- S1 BABY CHANGING STATION. D/A601.
- S2 RESTROOM ACCESSORIES, GRAB BARS, MIRRORS, ETC
- S3 WALL MOUNTED LAVATORY
- S4 NEW CHAIR RAIL TO MATCH EXISTING AT NEW WALLS. CONTRACTOR MAY SALVAGE EXISTING CHAIR RAIL FROM NEW RESTROOM 101 DEMOLITION. E/A601.
- S5 NEW WINDOW DRAPERY AND RODS
- S6 NEW CEILING-MOUNTED DRAPERY

**DOOR SCHEDULE**

MARK	DOOR				DETAILS				THRESHOLD	FIRE RATING	NOTES	
	ROOM	TYPE	SINGLE	GLASS	PROFILE	FRAME TYPE	FRAME HEAD	JAMB				HARDWARE GROUP
<b>MAIN LEVEL</b>												
101A	101							EXISTING	EXISTING	33A	T1	NOTE 1
103A	103							EXISTING	EXISTING	33A		NOTE 2

**S SIZE**

- S1 3'-0" x 7'-0" x 1 3/4" (MATCH EXISTING HEIGHT)

**FR FIRE RATING**

- FR20 20 MINUTE

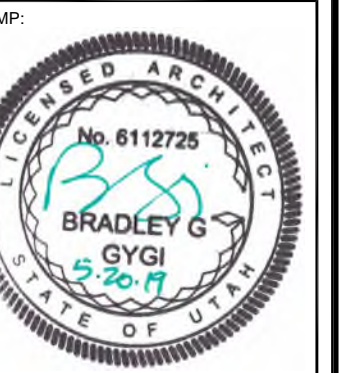
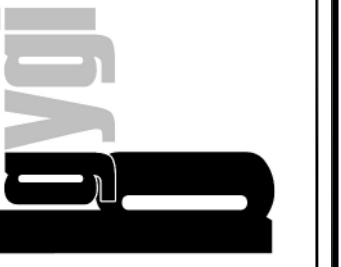
**GENERAL NOTES**

- 1. NEW HARDWARE WITH EXISTING DOOR, FRAME AND HARDWARE. PREPARE AND PAINT EXISTING FRAME.

**T THRESHOLD**

- T1 2" STONE THRESHOLD (BY TILE INSTALLER)

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MIDVALLEY 2.4.6  
SANDY UT MIDVALLEY STAKE  
1106 EAST 8050 SOUTH  
SANDY, UTAH

PROJECT FOR:  
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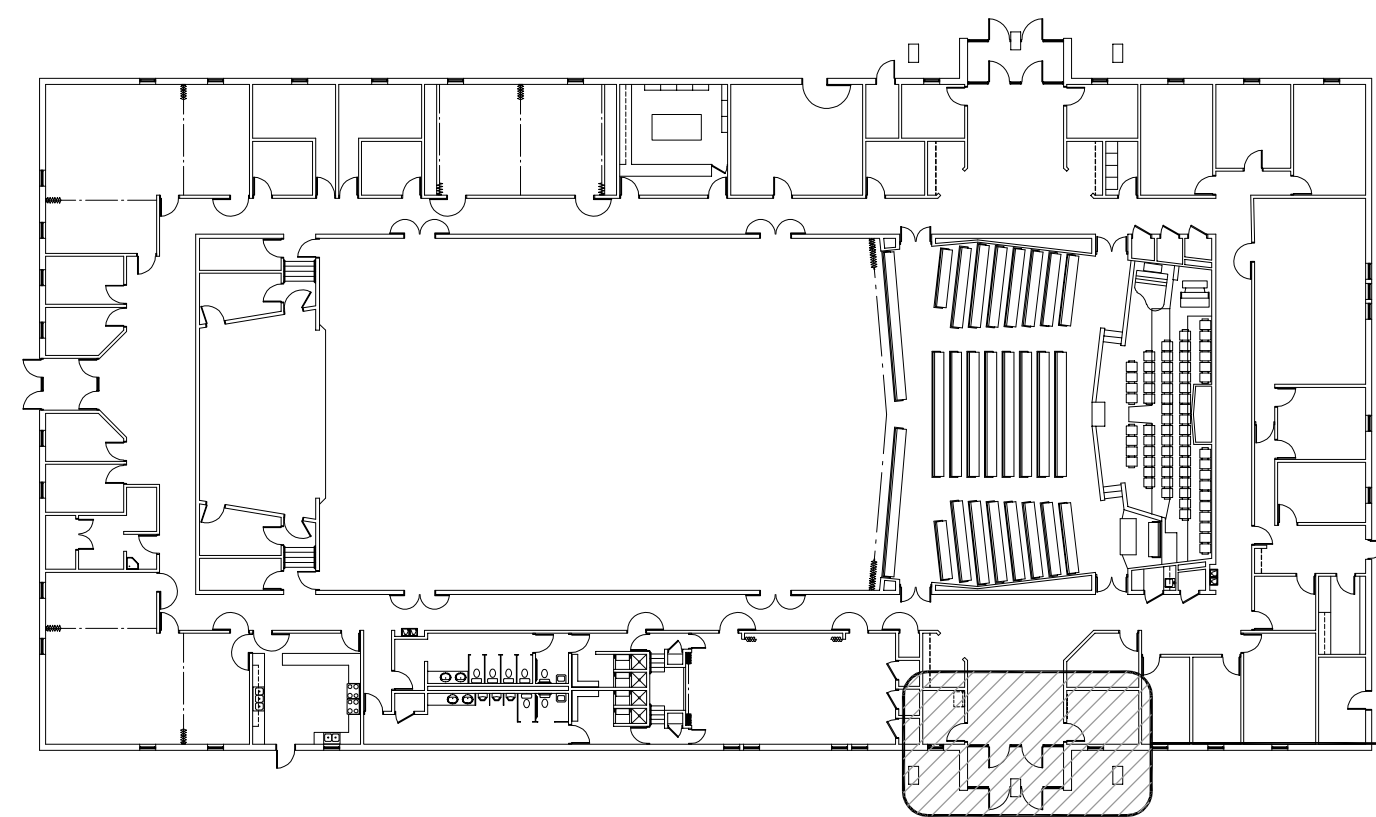
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SHEET TITLE:  
**FINISH & DOOR SCHEDULES AND DETAILS**

SHEET:

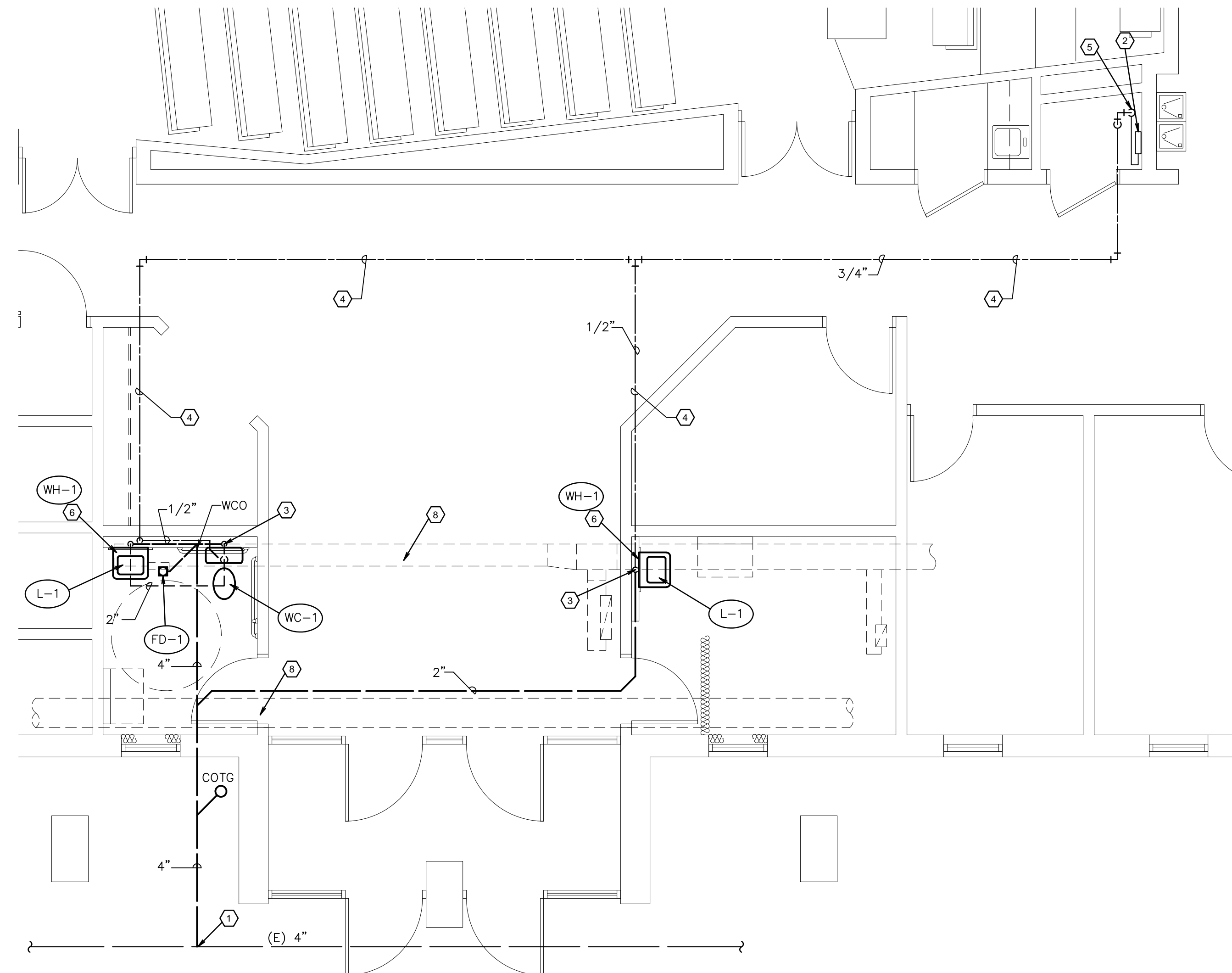
**A601**





KEY PLAN

AREA OF WORK



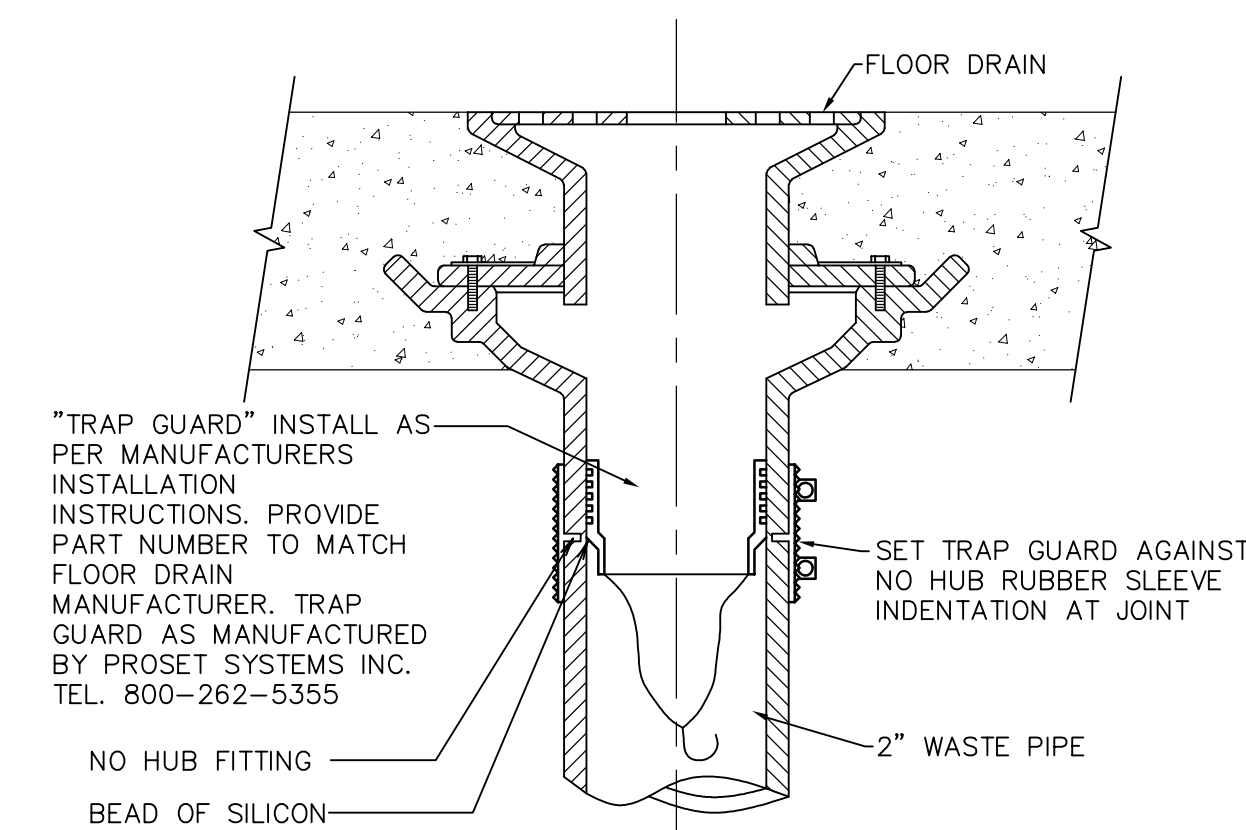
PARTIAL PLUMBING FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

MARK	FIXTURE	PIPE SIZE					REMARKS
		TRAP	WASTE	VENT	C.W.	H.W.	
WC-1	WATER CLOSET	INT.	4"	2"	1/2"	-	FLUSH TANK, 18" RIM HEIGHT (ADA APPROVED)
L-1	LAVATORY	1-1/4"	1-1/4"	1-1/2"	1/2"	1/2"	SELF SUPPORTING 20"X18"
FD-1	FLOOR DRAIN	2"	2"	2"	-	-	W/DEEP SEAL P-TRAP & TRAP SEAL. SEE A/P101.
WH-1	WATER HEATER	-	-	-	1/2"	1/2"	ELECTRIC, 3.2-3.5 KW, 25-29 AMPS, 120 V, 1 PHASE TANKLESS

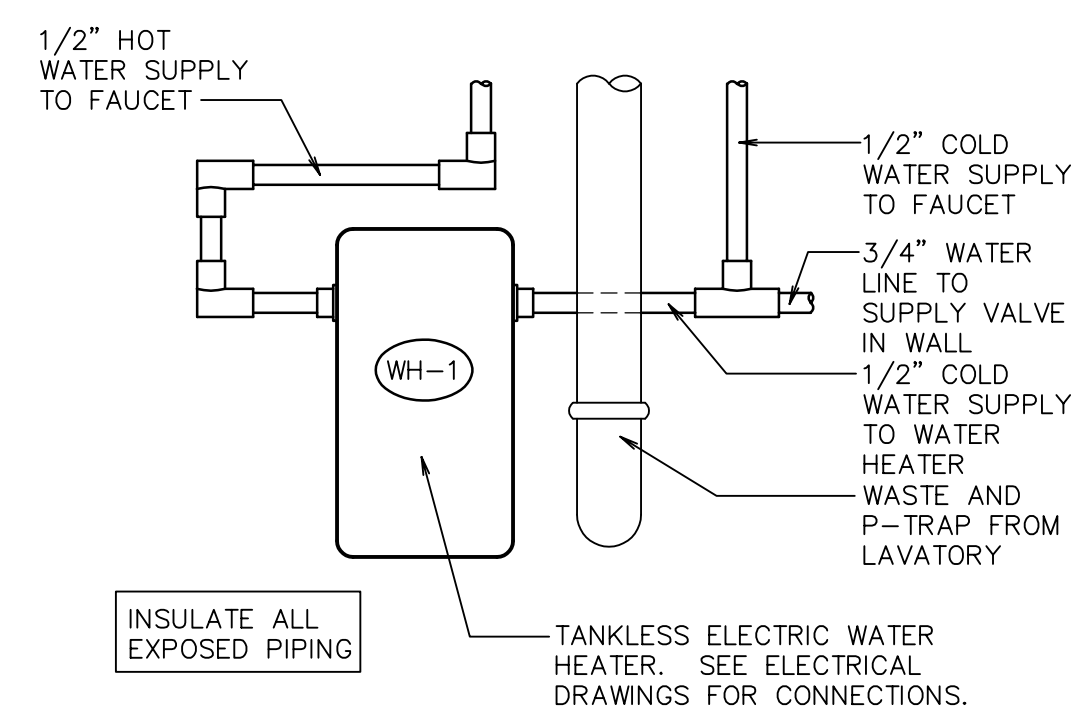
① WHEN MOUNTED PER ARCHITECTURAL ELEVATIONS, ADA ACCESSIBILITY REQUIREMENTS ARE SATISFIED.



TRAP GUARD TRAP SEAL

SCALE: NONE

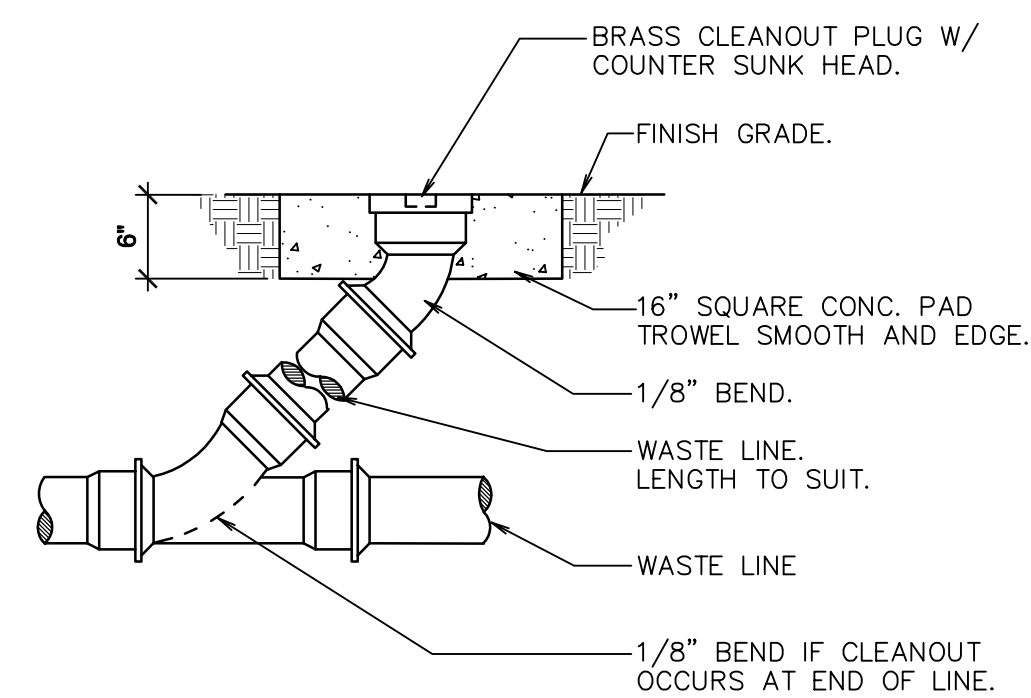
A



POINT OF USE ELECTRIC WATER HEATER DETAIL

SCALE: NONE

B

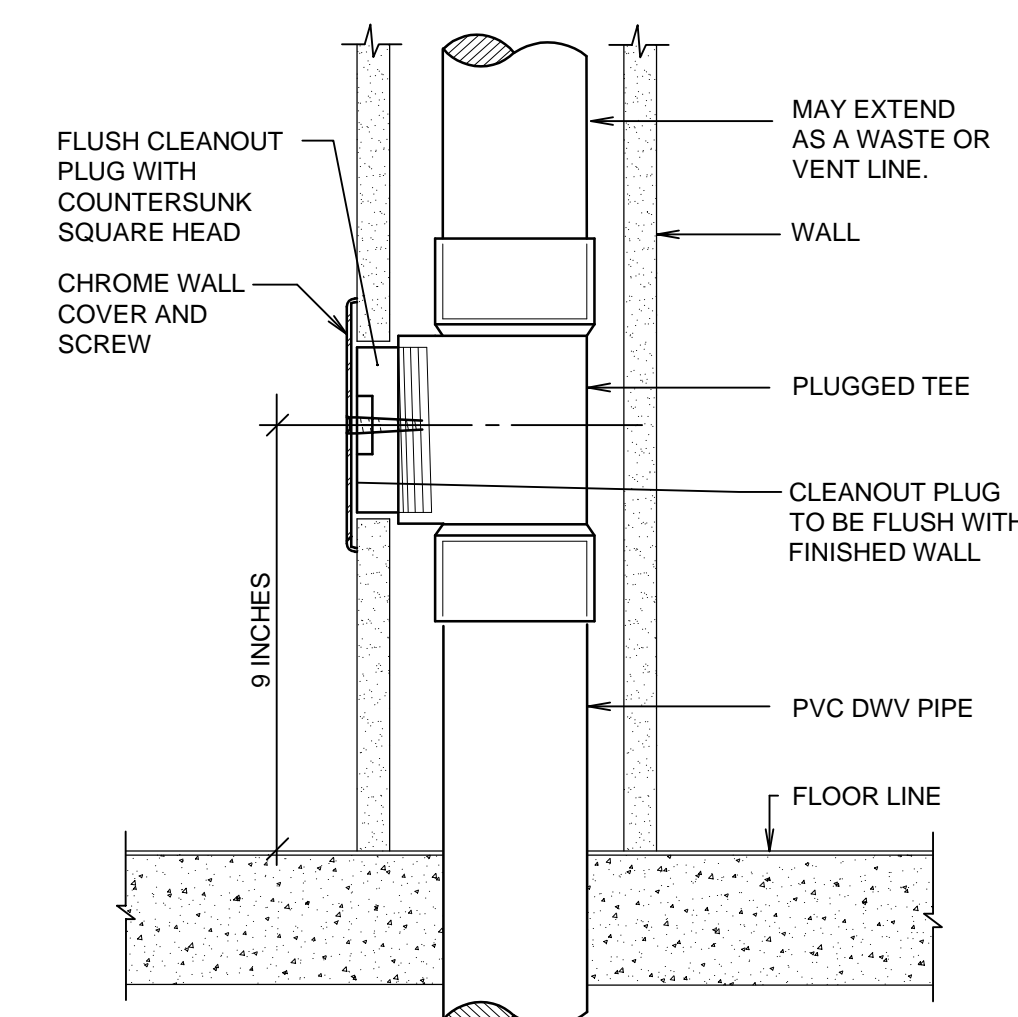


CLEANOUT TO GRADE (COTG)

CLEANOUT DETAILS

SCALE: NONE

C



WALL CLEANOUT DETAIL

SCALE: NONE

D

LEGEND			
SYMBOL OR ABBREVIATION	MEANING	SYMBOL OR ABBREVIATION	MEANING
HOT WATER LINE	-----	WALL CLEANOUT	WCO
COLD WATER LINE	-----	CLEANOUT	CO
VENT LINE	-----	FLOOR CLEANOUT	FCO
WASTE LINE	-----	BALL VALVE	⊕
VENT THRU ROOF	VTR	UNION	— —

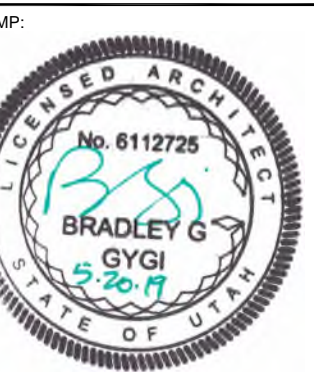
GENERAL PLUMBING NOTES

- IF CONTRACTOR ENCOUNTERS MATERIAL THAT MAY CONTAIN ASBESTOS, HE SHALL IMMEDIATELY STOP WORK IN THIS AREA AND NOTIFY OWNER.
- EXISTING PIPE LOCATIONS AND PIPE SIZES SHOWN HAVE BEEN TAKEN FROM EXISTING DRAWINGS. CONTRACTOR IS TO FIELD DETERMINE EXACT SIZE, ELEVATION, AND LOCATION OF EXISTING PIPING INSIDE THE BUILDING AT SPECIFIED CONNECTION POINTS PRIOR TO STARTING ANY WORK.
- SAW CUT OR CORE DRILL ALL NEW PENETRATIONS THROUGH EXISTING MASONRY CONSTRUCTION.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY NEW CONSTRUCTION TO MATCH EXISTING.
- DEMOLITION - GENERAL:
  - REMOVE ALL RELATED PIPING AND APPURTENANCES.
  - REMOVE BRANCH PIPING COMPLETELY AND CAP IN MAIN.
  - PATCH AND REPAIR ALL EXISTING SURFACES (WALL, ROOF, FLOOR, CEILING, ETC.) TO MATCH EXISTING.
- REMODEL - GENERAL:
  - CONCEAL ALL PIPING, EQUIPMENT, AND APPURTENANCES UNLESS OTHERWISE NOTED.
  - REMOVE EXISTING SURFACES (WALL, ROOF, FLOOR, CEILING, ETC.) AS REQUIRED AND REPLACE TO MATCH EXISTING.
  - REFER TO MECHANICAL SHEETS FOR ANY ADDITIONAL WORK.
- ALL PLUMBING SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES, ORDINANCES, OR THE SPECIFICATIONS.
- ALL FIXTURES SHALL BE PROPERLY VENTED TO THE ATMOSPHERE. FOR INDIVIDUAL LINE SIZES TO FIXTURES, SEE SCHEDULE THIS SHEET.
- DUE TO THE CLOSE PROXIMITY OF THE WATER, DRAIN, AND VENT PIPING AS WELL AS DUCTWORK, EQUIPMENT, AND HVAC PIPING, THE PLUMBING CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH THE MECHANICAL AND SHEET METAL CONTRACTORS.

KEYED PLUMBING NOTES

- CONNECT NEW 4" WASTE LINE TO EXISTING MAIN 4" SANITARY SEWER. FIELD VERIFY EXACT LOCATION AND ROUTING. PROVIDE NEW CLEAN OUT TO GRADE. SEE C/P101.
- EXISTING 2" MAIN WATER HEADER AND PRV.
- NEW 2" VENT THROUGH ROOF. SEE A/A151.
- ROUTE NEW COLD WATER PIPING ABOVE AND AGAINST WARM CEILING. NEW PIPING MUST BE LOCATED BELOW INSULATION ENVELOPE. PROVIDE STRUCTURAL TENT ABOVE PIPING TO ASSURE LOCATION IS ON WARM SIDE OF INSULATION ENVELOPE IF REQUIRED.
- CONNECT NEW 3/4" COLD WATER TO EXISTING 2" WATER HEADER.
- NEW ELECTRIC POINT OF USE WATER HEATER. LOCATE ON WALL BELOW NEW LAVATORY. REFER TO DETAIL B/P101.
- NEW 2" VENT THROUGH ROOF.
- COORDINATE NEW WASTE PIPE ROUTING WITH EXISTING BURIED RETURN AIR DUCT. PROTECT EXISTING DUCT INSTALLATION AT ALL TIMES DURING NEW CONSTRUCTION.

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PROJECT FOR:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**  
 MIDVALLEY 2.4.6  
 SANDY UT MIDVALLEY STAKE  
 1106 EAST 8050 SOUTH  
 SANDY, UTAH

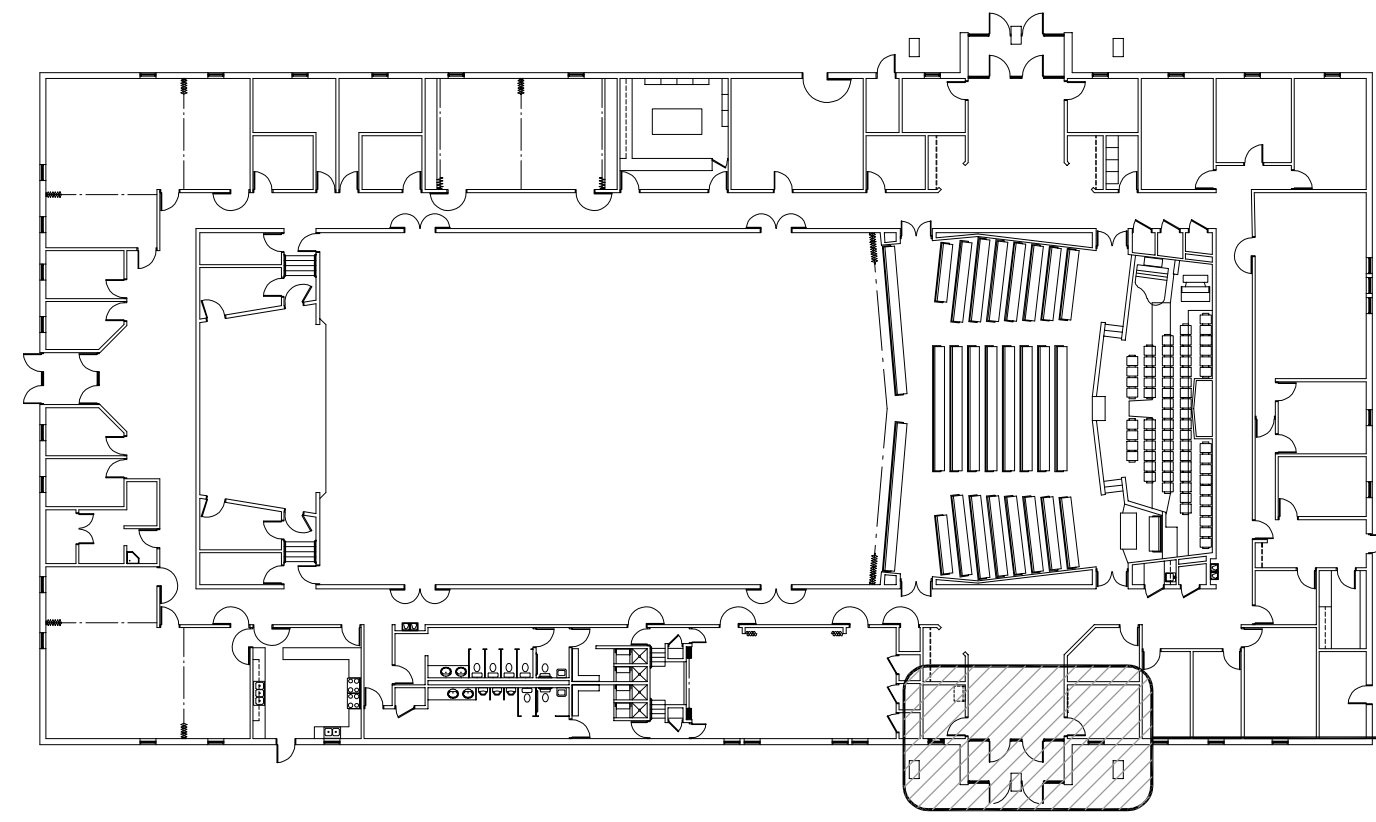
PROJECT NUMBER:  
 5338409-19030101  
 DATE:  
 20 MAY 2019  
 PROPERTY NUMBER:  
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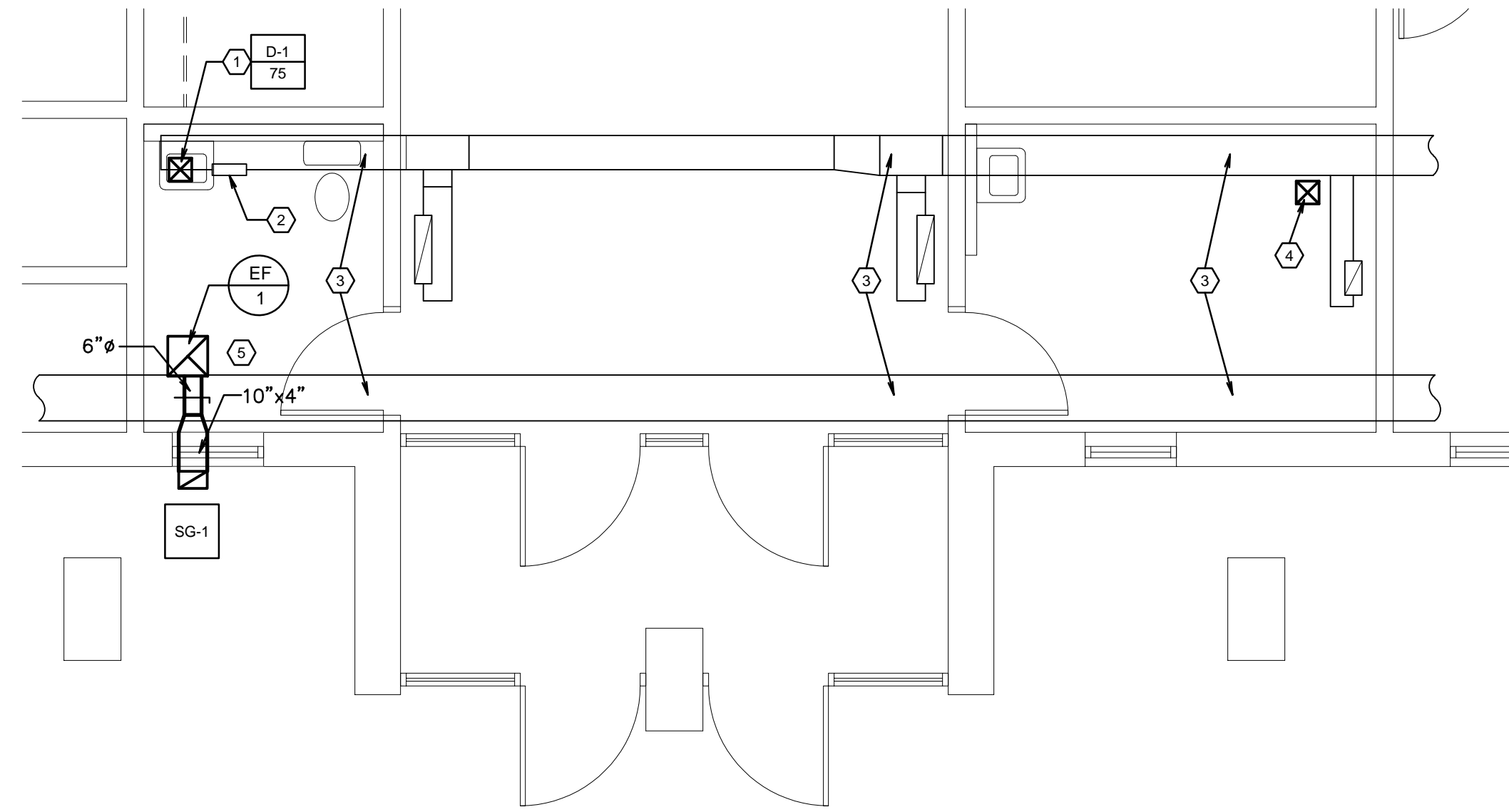
SHEET TITLE:  
**PLUMBING PLANS**

SHEET:  
**P101**



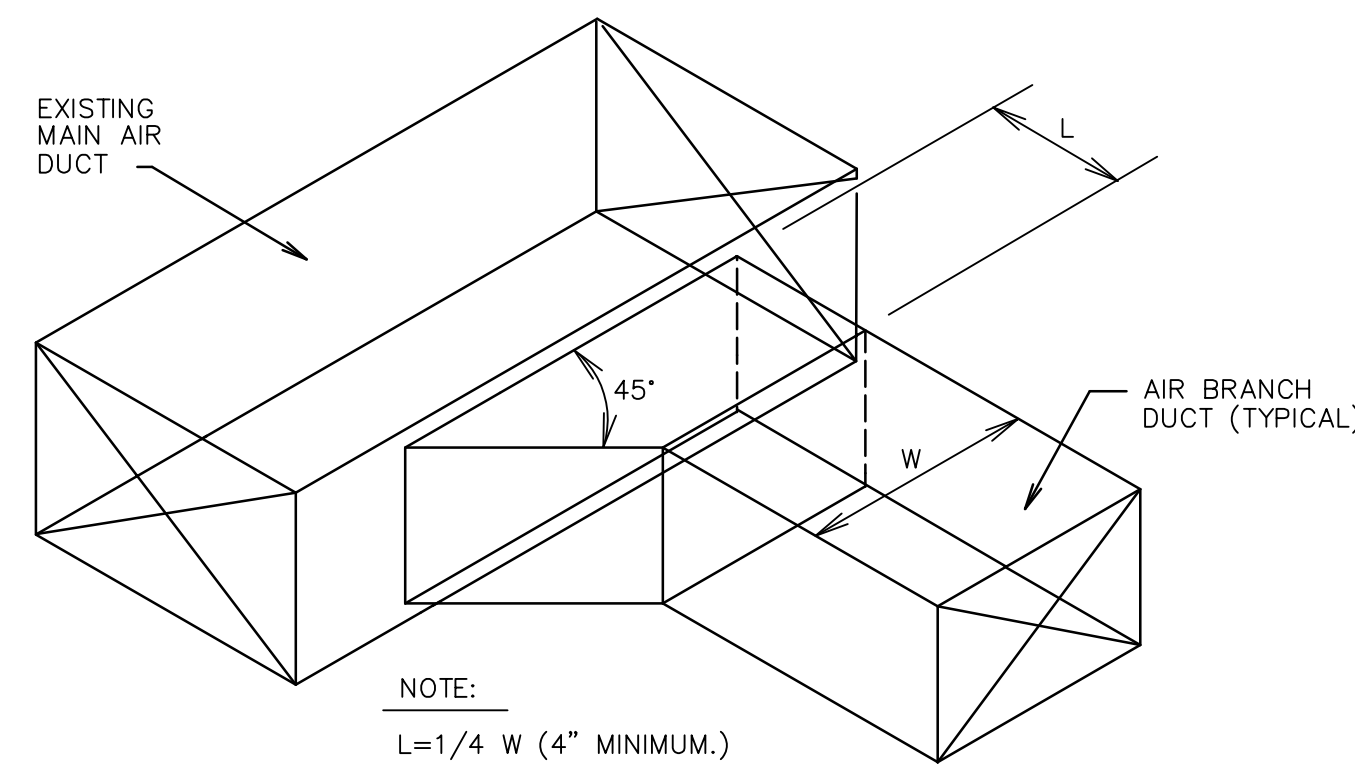


KEY PLAN



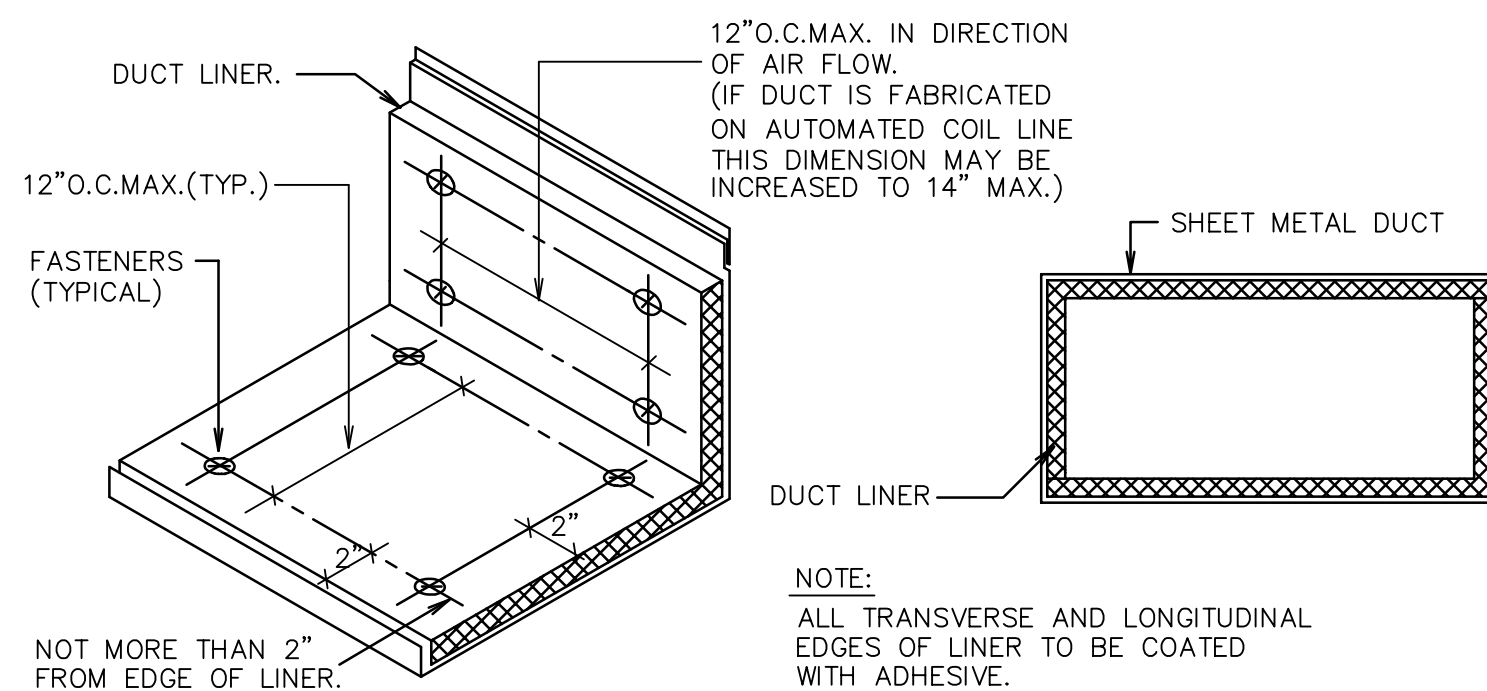
PARTIAL MECHANICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



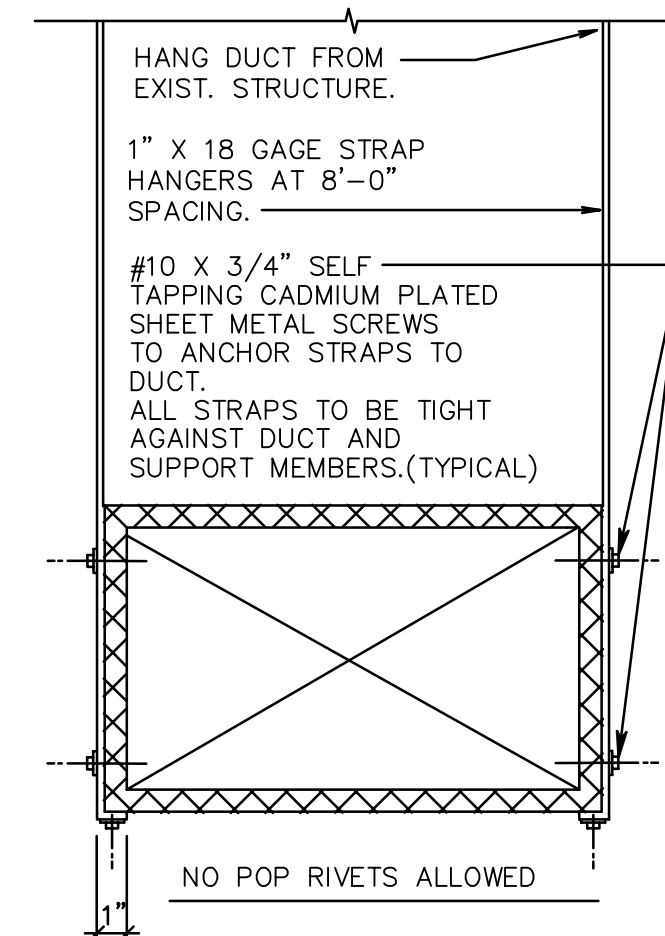
SUPPLY OR RETURN AIR DUCT BRANCH CONNECTION DETAIL

SCALE: NONE



DUCT LINER DETAIL

SCALE: NONE



DUCT STRAP HANGER DETAIL

SCALE: NONE

EXHAUST FAN SCHEDULE					
MARK	SERVES ROOM	MIN. S.C.F.M. ①	STATIC PRESSURE IN. W.G.	MINIMUM WATTS	REMARKS
EF 1	RESTROOM 101	95	0.25	81W	② ③ ④

- ① SET BALANCE DAMPERS TO CFM LISTED
- ② CONTROL BY DIVISION 26.
- ③ VOLTAGE IS 115V / 1 PHASE / 60 HZ
- ④ PROVIDE BACKDRAFT DAMPER AND BALANCING DAMPER.

REGISTER, LOUVER & GRILLE SCHEDULE					
MARK	TYPE	SERVICE	CFM RANGE ①	NOMINAL SIZE	REMARKS ③
SG-1	SOFFIT GRILLE	EXHAUST AIR	95	10X6	

DIFFUSER SCHEDULE ② ④							
MARK	C.F.M. RANGE ①	DIFFUSER SIZE	NECK CONN.	BLOW	PATTERN	AIR DIST./SIDE	
						A (%)	B (%)
D-1	95	6X6	6X6	3 WAY		38	31

- REGISTER, LOUVER AND DIFFUSER SCHEDULE NOTES:
- ① MAXIMUM NC=25 @ MAXIMUM CFM NOTED.
  - ② SHALL BE TITUS TDC TYPE 6 OR EQUAL BY OTHER APPROVED MANUFACTURERS. (SEE SPECIFICATIONS)
  - ③ SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS.
  - ④ FINISH SHALL BE OFF-WHITE BAKED ENAMEL.
  - ⑤ FINISH COLOR TO MATCH SOFFIT AS DIRECTED BY ARCH.

LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	BRANCH DUCT TAKE-OFF. SEE DETAIL E/M3.1		MANUAL VOLUME DAMPER
	SINGLE THICKNESS TURNING VANES		BACKDRAFT DAMPER (INSTALL AT EACH EXHAUST DISCHARGE DUCT)
	DUCT TRANSITION		EXISTING DUCT TO BE REMOVED
SA	SUPPLY AIR		EXISTING DUCT TO REMAIN
RA	RETURN AIR		

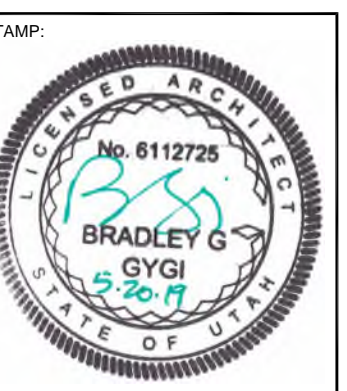
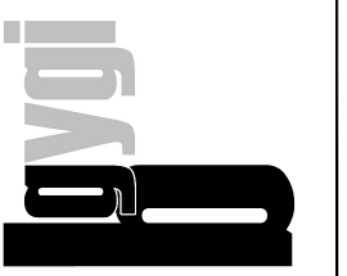
GENERAL MECHANICAL NOTES

1. EXISTING DUCTWORK, SIZES, AND EQUIPMENT SHOWN FOR CONTRACTOR'S REFERENCE. FIELD DETERMINE EXACT SIZE, ELEVATION, AND LOCATION OF EXISTING ITEMS, INCLUDING THEIR RELATIONSHIP WITH INTENDED WORK PRIOR TO STARTING ANY WORK.
2. DRAWINGS SHOW GENERAL ARRANGEMENT OF PIPING, DUCTWORK, EQUIPMENT, ETC. FOLLOW AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND WORK OF OTHER TRADES WILL PERMIT. BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, AND ACCESSORIES THAT MAY BE REQUIRED. INVESTIGATE STRUCTURAL AND FINISH CONDITIONS AFFECTING THIS WORK AND ARRANGE WORK ACCORDINGLY. PROVIDE SUCH FITTINGS, VALVES, AND ACCESSORIES REQUIRED TO MEET CONDITIONS.
3. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY NEW CONSTRUCTION TO MATCH EXISTING.
4. BALANCE SYSTEMS BEING REVISED COMPLETELY TO CFM'S SHOWN. MAKE ADJUSTMENTS NECESSARY TO ACHIEVE AIR FLOW QUANTITIES SHOWN ON DRAWINGS.
5. DUCT DIMENSIONS ARE CLEAR DIMENSIONS INSIDE DUCT LINER. DO NOT ROUTE PIPES ABOVE ELECTRICAL PANELS. MAINTAIN CLEAR ACCESS SPACE IN FRONT OF ALL ELECTRICAL PANELS 4'-0" DEEP AND 6'-6" HIGH.
6. SAW CUT OR CORE DRILL ALL NEW PENETRATIONS THROUGH EXISTING MASONRY CONSTRUCTION.
7. IF CONTRACTOR ENCOUNTERS MATERIAL THAT MAY CONTAIN ASBESTOS, HE SHALL IMMEDIATELY STOP WORK IN THIS AREA AND NOTIFY THE OWNER.
8. DEMOLITION - GENERAL:
  - a. REMOVAL OF EQUIPMENT, PIPING, OR DUCTWORK TO INCLUDE REMOVAL OF ALL RELATED APPURTENANCES SUCH AS WIRING, CONDUIT, SUPPORTS, ETC. AND MODIFICATIONS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
  - b. REMOVE BRANCH CONDUIT AND WIRE COMPLETELY. TERMINATE AT JUNCTION BOX.
  - c. PATCH AND REPAIR ALL EXISTING SURFACES (WALL, ROOF, FLOOR, CEILING, ETC.) TO MATCH EXISTING.
9. REMODEL - GENERAL:
  - a. ALL NEW CONDUIT, PIPING, DUCT, EQUIPMENT, AND APPURTENANCES TO BE CONCEALED UNLESS OTHERWISE NOTED.
  - b. EXISTING SURFACES (WALL, ROOF, FLOOR, CEILING, ETC.) TO BE REMOVED AS REQUIRED AND REPLACED TO MATCH EXISTING.

KEYED MECHANICAL NOTES

- ① REMOVE EXISTING CEILING SUPPLY DIFFUSER. PROTECT EXISTING BRANCH DUCT DURING CONSTRUCTION. INSTALL NEW CEILING SUPPLY DIFFUSER AT EXISTING BRANCH DUCT LOCATION. BALANCE SUPPLY AIR TO VOLUME SPECIFIED.
- ② REMOVE EXISTING FLOOR RETURN GRILLE AND RELATED BURIED BRANCH RETURN AIR DUCT. CAP AT EXISTING MAIN DUCT.
- ③ PROTECT ALL EXISTING BURIED RETURN AIR DUCT TO REMAIN DURING CONSTRUCTION.
- ④ EXISTING SUPPLY AIR IN CEILING TO REMAIN (DUCTWORK NOT SHOWN FOR CLARITY).
- ⑤ NEW EXHAUST FAN. NEW DUCTWORK PIPING THROUGH ATTIC TO SOFFIT VENT PER MANUFACTURER'S RECOMMENDATIONS.

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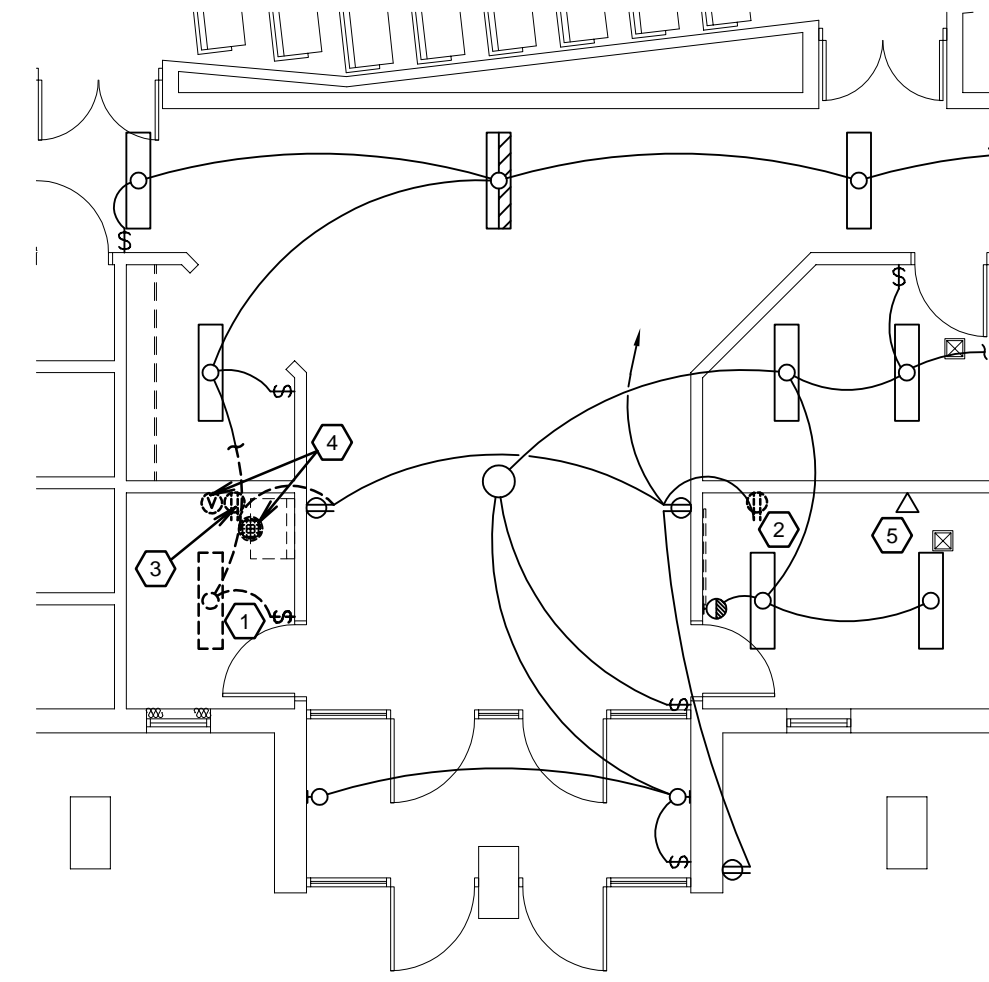
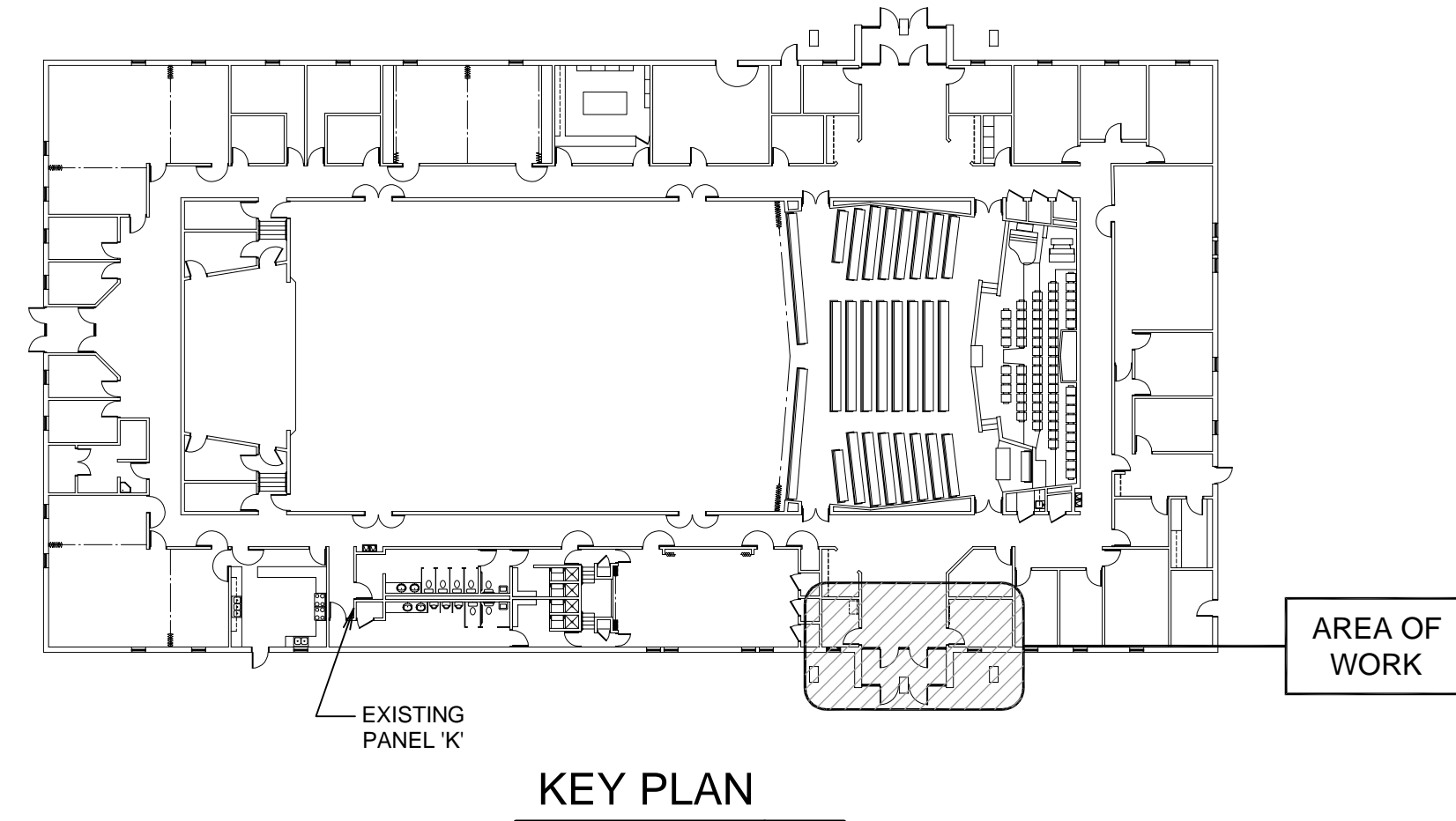
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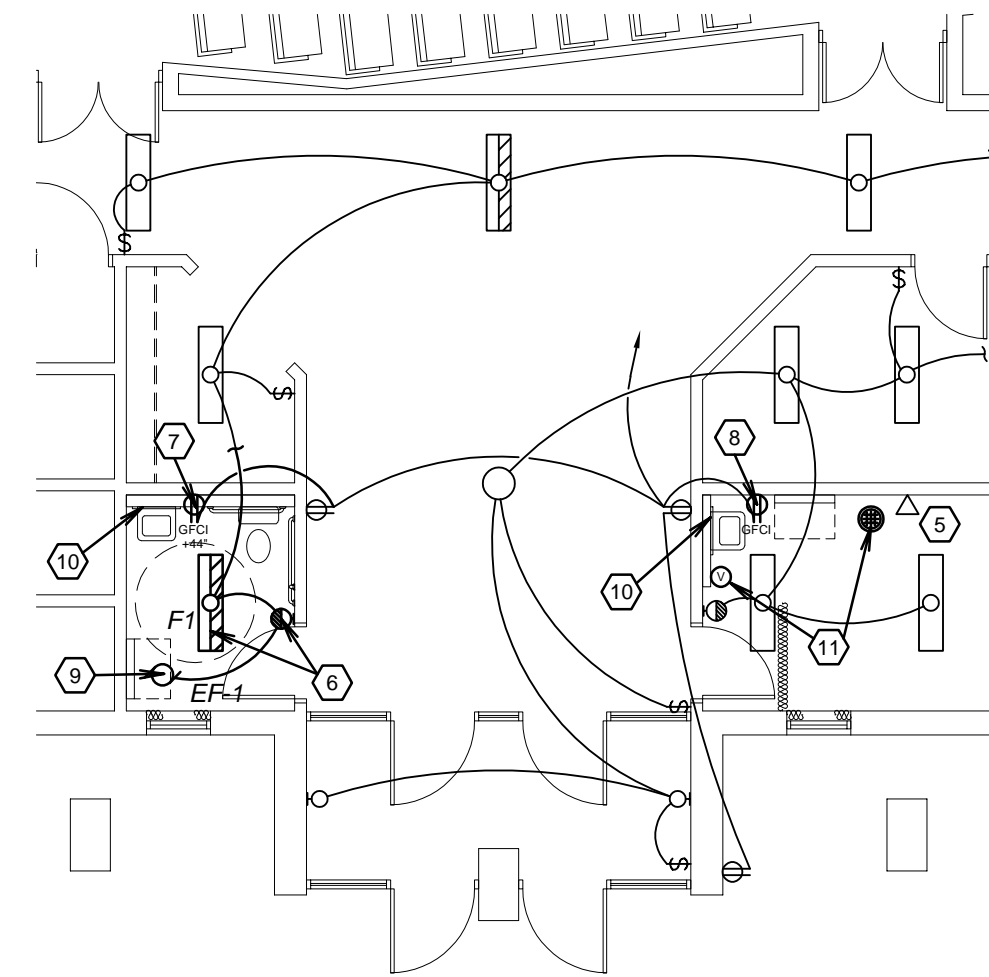
SHEET TITLE:  
**MECHANICAL PLANS**

SHEET:  
**M101**





SCALE: 1/4" = 1'-0" 1



SCALE: 1/4" = 1'-0" 2

EXHAUST FAN SCHEDULE						
SYM	DESCRIPTION	CIRCUIT	FEEDER	VOLTS / PHASE	DISCONNECT	HP/WATTS
EF-1	EXHAUST FAN	EXIST.	2 #12, #12 GR	120 / 1 (VERIFY EXISTING)	INCLUDED	100W

FIXTURE SCHEDULE						
SYM	MANUFACTURER		LOAD (VA)	LAMPS TYPE	MOUNTING	REMARKS
	NAME	CATALOG NUMBER				
F1	DAY-BRITE	OWN232-UNV-12E8*	50	2F32 T8 3000K	SURFACE	*ELECTRONIC BALLAST SEE SPEC. 285100
	METALUX	WN232A-UNV-EB81*				
	H.E. WILLIAMS	17-4-232-A-LDS-EBLH2*-AD-8D-UNV				
	LSI	WNA10-232-SSOL-UE				
	LITHONIA COLUMBIA	SB232 MVOLT GS10XSL* AWV-232-ELW*U				

GENERAL ELECTRICAL NOTES

- WHERE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, RELOCATE, EXTEND OR REPAIR RACEWAYS, CONDUCTORS, OUTLETS AND APPARATUS TO ALLOW CONTINUED USE OF ELECTRICAL SYSTEM. USE METHODS AND MATERIALS AS SPECIFIED FOR NEW CONSTRUCTION.
- REROUTE ANY EXISTING CONDUIT OR ELECTRICAL FIXTURES OR DEVICES WHICH ARE ENCOUNTERED DURING THE DEMOLITION OR WHICH ARE CONFLICTING WITH NEW CONSTRUCTION FOR THIS PROJECT. REROUTE THE CONDUIT AND MAINTAIN THE SERVICE OR MOVE FIXTURES AND APPLIANCES AS REQUIRED TO ACCOMMODATE THE WORK OF OTHER TRADES DURING THIS CONSTRUCTION. MOVE OR REMOVE FIXTURES AND DEVICES TO ACCOMMODATE OTHER TRADES DURING THIS CONSTRUCTION AND REINSTALL THE SAME AT THE CONCLUSION OF THE PROJECT.
- CIRCUIT NEW LIGHT FIXTURES, DEVICES, MOTORS AND FIXTURES TO EXISTING PANEL. PROVIDE NEW BREAKERS, CONDUIT AND WIRE AS REQUIRED FOR INSTALLATION.
- PROVIDE RACEWAYS AND BOXES CALLED OUT IN MECHANICAL DRAWINGS. SEE MECHANICAL DRAWINGS AND COORDINATE WITH MECHANICAL CONTRACTOR.
- NO SURFACE-MOUNTED CONDUIT WILL BE ALLOWED ON PROJECT. PATCH AND REPAIR WALLS AND CEILINGS THAT ARE DAMAGED BY ELECTRICAL DEMOLITION AND INSTALLATION. SAW-CUT THROUGH WALLS AS REQUIRED TO CONCEAL ALL CONDUIT. FIELD VERIFY EXISTING CONDITIONS.
- AT REMODELED ROOMS, REPLACE ALL EXISTING OUTLETS, SWITCHES, COVER PLATES AND OTHER DEVICES WHICH ARE NOT REMOVED FOR THIS WORK WITH NEW. ALL NEW DEVICES AND COVER PLATES TO BE WHITE COLOR.
- MAINTAIN POWER AND SWITCHES FOR EXISTING LIGHTING AND OUTLETS AT ALL ADJACENT AREAS.

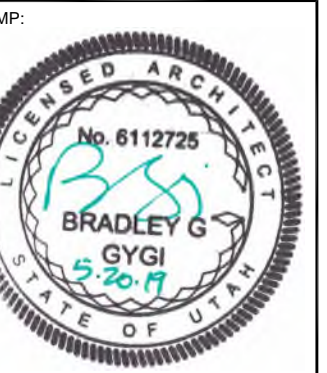
ELECTRICAL KEYED NOTES

- REMOVE EXISTING LIGHT FIXTURE, SWITCH AND RELATED WORK.
- REMOVE EXISTING POWER OUTLET. MAINTAIN LOCATION FOR NEW OUTLET DEVICE.
- REMOVE EXISTING POWER OUTLET AND ABANDON LOCATION.
- REMOVE AND SALVAGE EXISTING SPEAKER IN CEILING, VOLUME CONTROL DEVICE AND RELATED WIRING.
- EXISTING PHONE / DATA OUTLET.
- NEW LIGHT FIXTURE. WIRE WITH NEW WALL SENSOR IN LOCATION OF EXISTING SWITCH AND CIRCUIT TO EXISTING LIGHT FIXTURE CIRCUIT.
- NEW GROUND FAULT OUTLET. CIRCUIT TO EXISTING POWER OUTLET CIRCUIT.
- NEW GROUND FAULT OUTLET IN LOCATION OF EXISTING REMOVED OUTLET.
- NEW EXHAUST FAN. SWITCH WITH LIGHT FIXTURE SENSOR. CONNECT TO NEW 20A CIRCUIT BREAKER FOR EXHAUST FAN IN ELECTRICAL PANEL 'K' NEAR RESTROOMS (SEE KEY PLAN).
- ELECTRIC TANKLESS WATER HEATER ON WALL UNDER RESTROOM LAVATORY. 3.2-3.5W, 25-29 AMPS, 120 V, 1 PHASE. NEW 30A CIRCUIT BREAKER FOR WATER HEATER IN NEAREST PANEL 'K' NEAR RESTROOMS (SEE KEY PLAN).
- REINSTALL EXISTING SALVAGED SPEAKER IN NEW LOCATION IN CEILING. CONNECT TO EXISTING SALVAGED VOLUME CONTROL IN NEW LOCATION. CONNECT TO EXISTING AV WIRING OR RUN NEW AS REQUIRED TO PROVIDE CHAPEL OVERFLOW SOUND IN MOTHERS' ROOM.

ELECTRICAL SYMBOLS LEGEND

- FLUORESCENT LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE WITH EMERGENCY BATTERY PACK
- EXHAUST FAN (MOTOR OUTLET)
- OCCUPANCY SENSOR CEILING MOUNT, ULTRASONIC
- OCCUPANCY SENSOR WALL SWITCH, PASSIVE INFRARED
- SINGLE POLE SWITCH
- DUPLEX RECEPTACLE OUTLET
- GFCI DUPLEX RECEPTACLE OUTLET

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SHEET TITLE:  
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SHEET:  
**E101**