



Addendum #1

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents and/or prior Addenda as noted below. All conditions, requirements, materials, and workmanship are to be as described in the Contract Documents unless specifically stated otherwise. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of (5) 8 1/2" x 11" sheets, (0) 11" x 17" sheets, and (2) 24" x 36" sheets.

Date	Owner Property Number	Owner Building Number	BHDA Project Number
Fri, 21 Apr 2017	510-1409	1	1621

Project Designation	Project Address
Lakeridge 1, 4, 7 Remodel Orem UT Lakeridge Stake	158 East 1100 South Orem, Utah 84058

Copies To
Milan Malkovich, Church Project Manager Lynn Adams, Church Facilities Manager Invited Bidders Plan Rooms Architect's Consultants

Bid Opening Time	Bid Opening Location
Tue, 2 May 2017, at 2:00 pm	UT American Fork Project Management Office 110 East Main Street American Fork, UT 84003

1. Changes to Prior Addenda

1.01. None.

2. Changes to Procurement and Contracting Requirements

2.01. Bid Requirements, Invitation to Bid and Contractor Bid Proposal and Project Agreement US

A. Change time limit of Substantial Completion from ninety (90) to one hundred twenty (120) calendar days.

3. Changes to Specifications

3.01. Section 22 4213 Commercial Water Closets and Urinals.

A. Replace this section with the attached revised Section 22 4213.
1. In 2.1, C, removed all approved manufacturers except for Toto.

4. Changes to Drawings

4.01. Sheet A101 Enlarged Demolition Plans and Enlarged Plans

A. Replace this sheet with the attached revised Sheet A101.
1. Modified notes about doors and door frames.
2. Clarified notes about work performed by the Owner and items salvaged to the Owner.



4.02. Sheet F101 Floor Finishes Plans

- A. Replace this sheet with the attached revised Sheet F101.
 - 1. Added missing Keyed Notes.
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End of Addendum #1

SECTION 22 4213**COMMERCIAL WATER CLOSETS AND URINALS****PART 1 - GENERAL****1.1 SUMMARY**

- A. Includes But Not Limited To:
 - 1. Furnish and install plumbing fixtures as described in Contract Documents.
- B. Related Requirements:
 - 1. Section 07 9213: 'Elastomeric Joint Sealants' for sealants used between fixtures and other substrates.
 - 2. Section 22 0501: 'Common Plumbing Requirements'.
 - 3. Section 22 1116: 'Domestic Water Piping'.

1.2 REFERENCES

- A. Definitions:
 - 1. High-Efficiency Toilet (HET): Toilets with effective flush volume of 1.28 gallons or less.
 - 2. Maximum Performance (MaP): Toilet testing that rates toilet efficiency and flush performance by measuring number of grams of solid waste (soybean paste and toilet paper) that a toilet can flush and remove completely from fixture in single flush represented as a scale or score. 1000 grams is highest score possible (www.map-testing.com).
- B. Reference Standards:
 - 1. American Society of Mechanical Engineers / CSA Group (Canadian Standards Association):
 - a. ASME A112.19.2-2013/CSA B45.1-13, 'Ceramic Plumbing Fixtures'.

1.3 SUBMITTALS

- A. Closeout Submittals:
 - 1. Include following in Operations And Maintenance Manual specified in Section 01 7800:
 - a. Operation and Maintenance Data:
 - 1) Sensor Operated operation and maintenance manuals.

PART 2 - PRODUCTS**2.1 ASSEMBLIES**

- A. Manufacturers:
 - 1. Manufacturer Contact List:
 - a. American Standard Brands, Piscataway, NJ www.americanstandard-us.com or American Standard Canada, Mississauga, ON www.americanstandard.ca.
 - b. Bemis Manufacturing Co, Sheboygan Falls, WI www.bemismfg.com.
 - c. Beneke by Sanderson Plumbing Products, Columbus, MS www.sppi.com.
 - d. Church Seat Co, Sheboygan Falls WI www.churchseats.com.
 - e. Dearborn Brass, Cleveland, OH www.dearbornbrass.com.
 - f. Gerber Plumbing Fixtures LLC, Woodridge, IL www.gerberonline.com.
 - g. Kohler Co Plumbing Div, Kohler, WI www.us.kohler.com.
 - h. McGuire Manufacturing Co, Cheshire, CT www.mcguiremfg.com.

- i. Olsonite Corp, Newnan, GA www.olsonite.net or Olsonite Co Ltd, Tilbury, ON (519) 682-1240.
 - j. Toto U.S.A., Inc., Morrow, GA www.totousa.com
 - k. Zurn Industries, LLC, Erie PA www.zurn.com. or Zurn Industries Ltd, Mississauga, ON (905) 795-8844.
- B. Performance:
1. Design Criteria:
 - a. Meet or exceed ASME A112.19.2/CSA B45.1 for Vitreous China Plumbing Fixtures.
 - b. Interior exposed pipe, valves, and fixture trim, including trim behind custom casework doors, shall be chrome plated.
 - c. All materials NOT required to be low lead compliant.
- C. Materials:
1. Water Closets:
 - a. Floor Mounted With Tank:
 - 1) Standard Fixture: **WC-1**
 - a) Water usage of 1.6 gallons per flush.
 - b) MaP Score of 1000 grams.
 - c) Category Four Approved Products. See Section 01 6200 for definitions of Categories:
 - (1) Toto: 'Drake' CST744S.
 - 2) Standard ADA Accessible Fixture: **WC-2**
 - a) Water usage of 1.6 gallons per flush.
 - b) 18 inch maximum rim height.
 - c) MaP Score of 1000 grams.
 - d) Provide right side flush control if required to meet ADA requirements.
 - e) Category Four Approved Products. See Section 01 6200 for definitions of Categories:
 - (1) Toto: 'ADA Drake' CST744SL.
 2. Water Closet Accessories:
 - a. Seats:
 - 1) Provide split front type with check hinge.
 - 2) Category Four Approved Products. See Section 01 6200 for definitions of Categories:
 - a) Standard And Handicap Accessible Fixtures:
 - (1) Toto SC534.
 - b. Supply Pipe And Stop:
 - 1) Provide chrome plated quarter-turn brass ball valve, 12 inch (braided stainless steel riser, and chrome-plated steel flange.
 - 2) Category Four Approved Products. See Section 01 6200 for definitions of Categories:
 - a) McGuire: BV2166CC.
 - b) Zurn: Z8804.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install each fixture with separate vent line. Do not circuit vent.
- B. Ensure provisions are made for proper support of fixtures and that rough-in piping is accurately set and protected from movement and damage.
 1. Seal wall-mounted fixtures around edges to wall with sealant specified in Section 07 9213 'Elastomeric Joint Sealants'.
- C. Provide each individual fixture supply with accessible chrome-plated stop valve with hand wheel.
- D. Mounting:

1. Water Closets:
 - a. ADA Accessible: Install with flush actuator located on wide side of stall.

E. Water Closets:

1. Floor or Wall Fixtures:
 - a. Make fixture connections with approved brand of cast iron flange, soldered or caulked securely to waste pipe. Make joints between fixtures and flanges tight with approved fixture setting compound or gaskets. Caulk between fixtures with sealant specified in Section 07 9213. Point edges.

3.2 CLEANING

- A. Polish chrome finish at completion of Project.

END OF SECTION

GENERAL NOTES

- For plumbing fixtures and floor drains, see plumbing sheets.
- Remove existing finishes. (Tile floor, tile wall, carpet, etc. As necessary to install new finishes.)
- Trim doors as necessary to accommodate new stone thresholds.
- Paint all existing surfaces in rooms affected by construction. (Brick, door frames, ceilings, etc.)
- Patch ceilings as necessary in rooms 120, 175, 174.
- See Sheet A401 for wall finishes, accessories, etc.
- See Sheet F101 for floor finishes.

CONSTRUCTION PHASING

- The Northwest restroom remodel (shown on 5/A101) is required to be completed before the Southeast restroom remodel (shown on 4/A101) is started.

WORK BY OWNER

- Provide and install paper towel, toilet tissue, and soap dispensers.
- Provide baby changing station. (Installed by contractor)
- HVAC Test & Balance.
- Provide door signage per Keyed Notes 21 and 22 (installed by contractor).

ITEMS SALVAGED TO OWNER

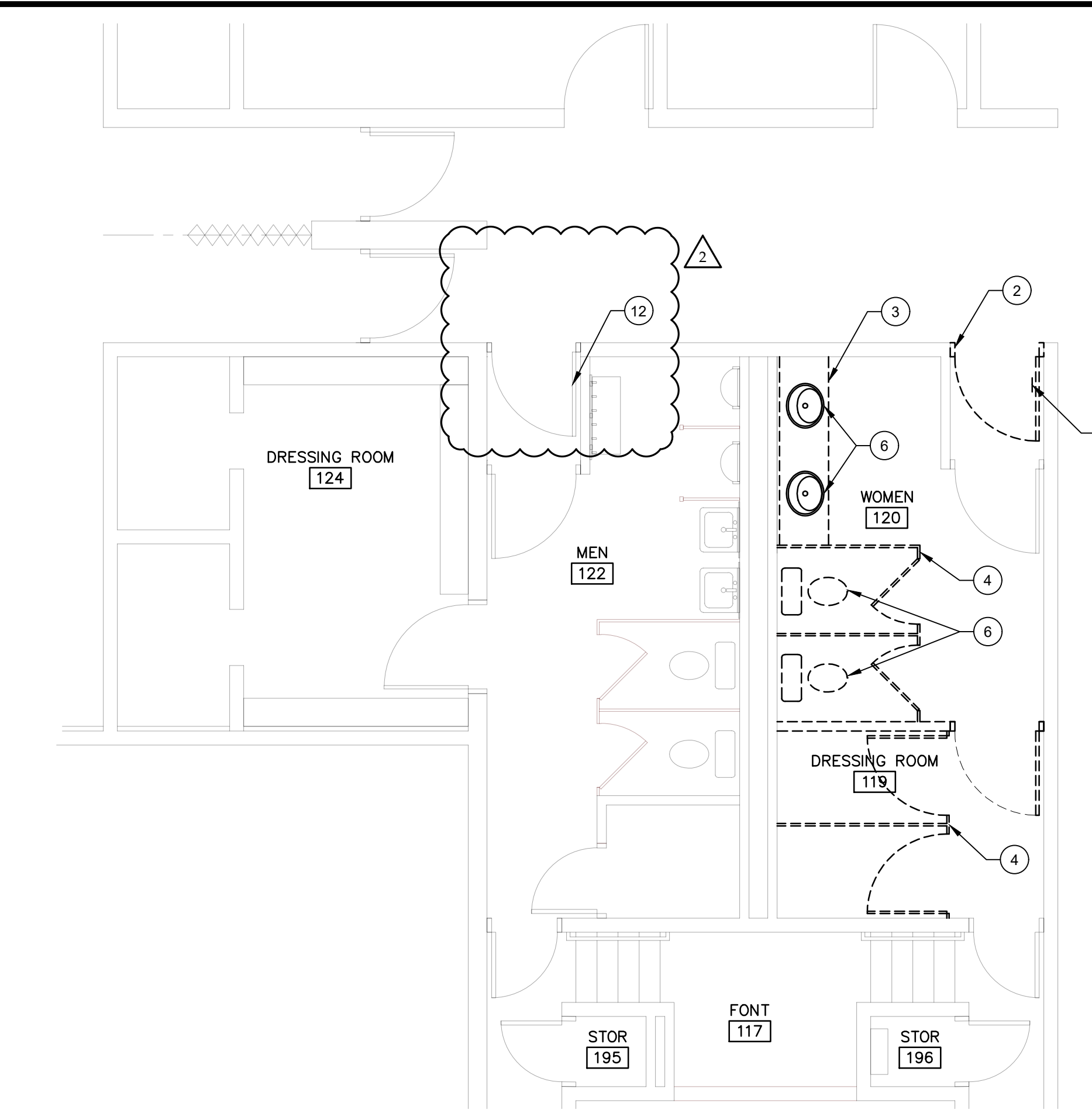
- Door signs that are not reused.
- Existing removed restroom dispensers.

DRAWING INDEX

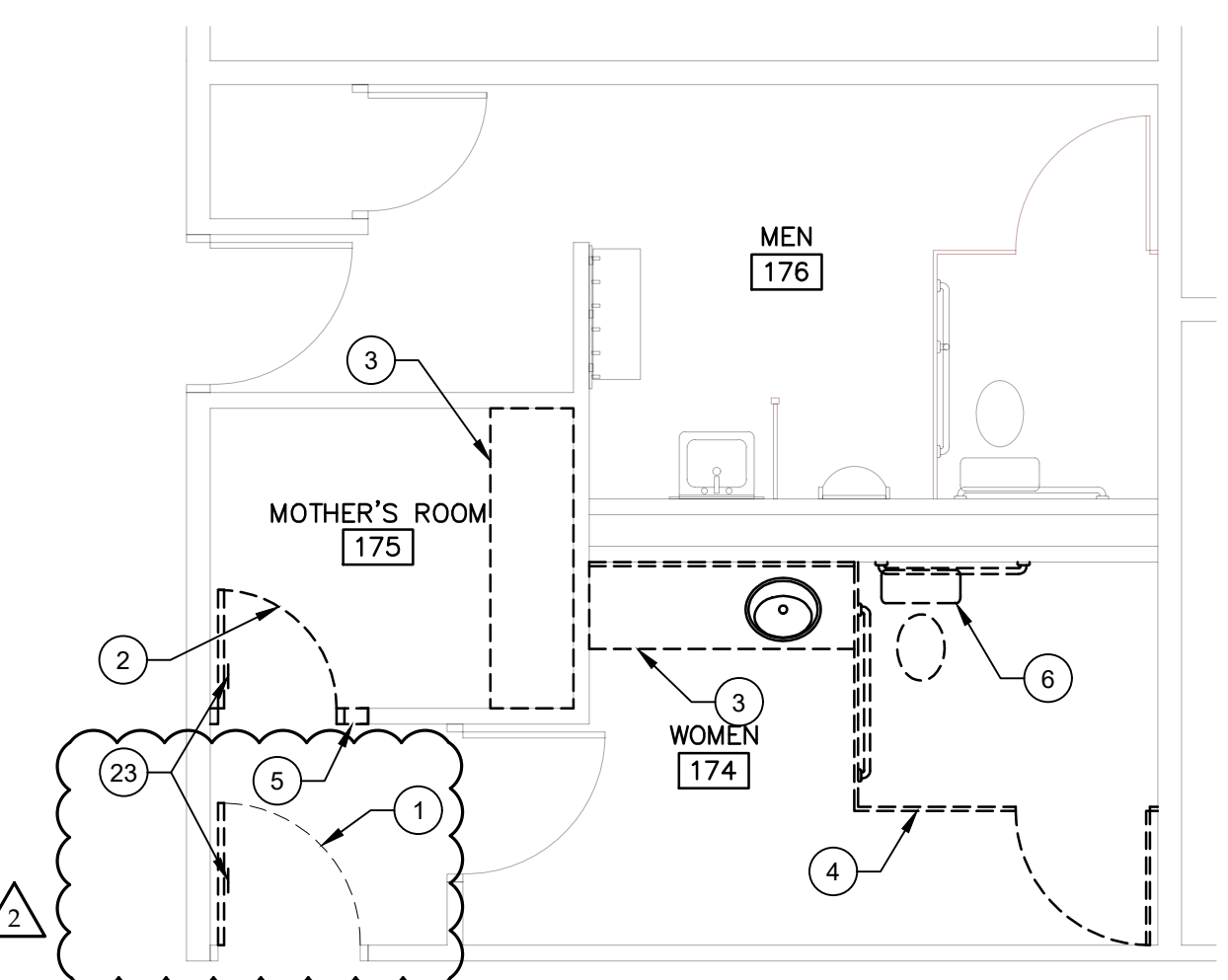
ARCHITECTURAL	
A101	ENLARGED DEMOLITION PLANS AND ENLARGED PLANS
A401	RESTROOM ELEVATIONS AND DETAILS
F101	FLOOR FINISHES PLAN
SITE	
C101	SITE PLAN AND DETAILS
MECHANICAL	
PD101	ENLARGED PLUMBING DEMOLITION PLANS
P101	ENLARGED PLUMBING PLANS
PS01	PLUMBING SCHEDULES AND DETAILS
M101	ENLARGED MECHANICAL DEMOLITION PLANS AND ENLARGED MECHANICAL PLANS
M501	MECHANICAL SCHEDULES AND DETAILS
ELECTRICAL	
E101	ENLARGED ELECTRICAL DEMOLITION PLANS AND ENLARGED ELECTRICAL PLANS

KEYED NOTES

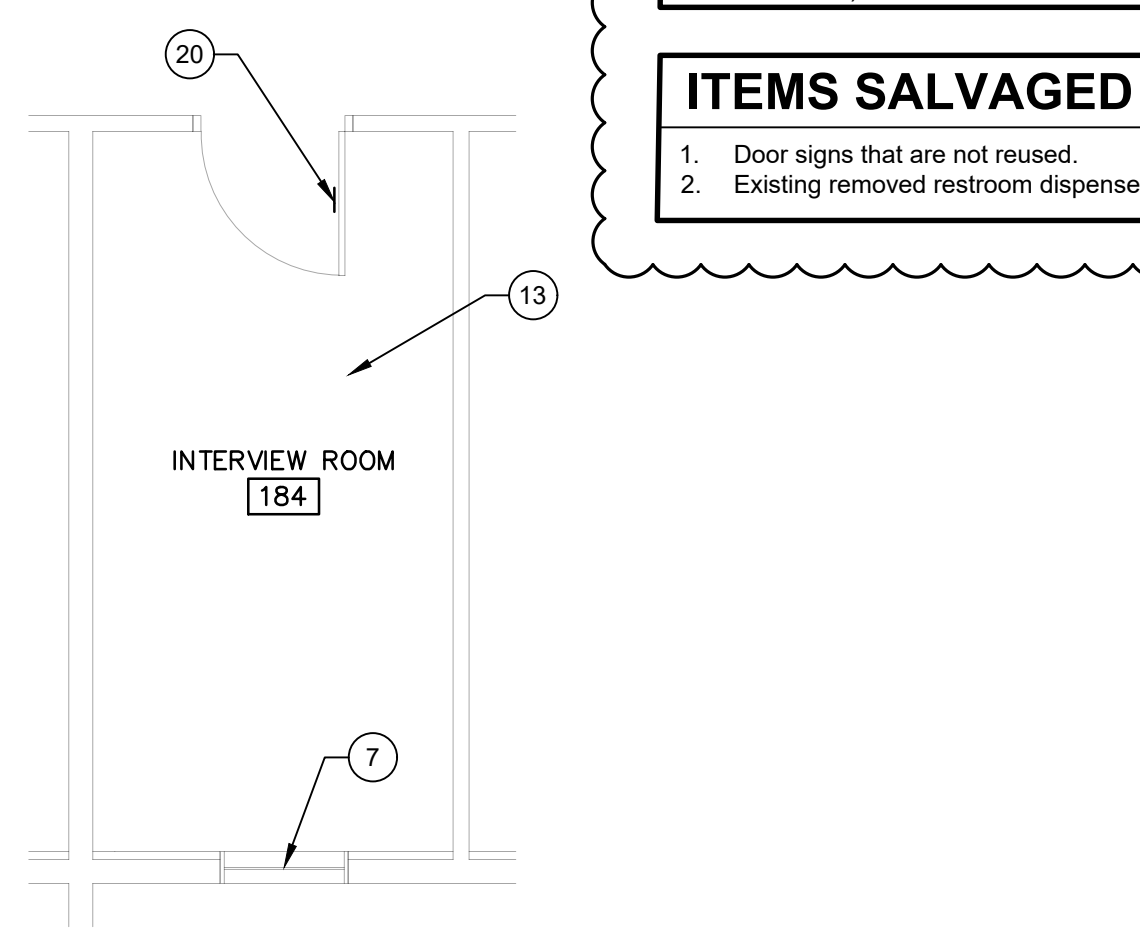
- Remove existing door and hardware. Existing door frame to remain.
- Remove existing door, frame, and hardware.
- Remove existing countertop.
- Remove existing metal toilet partitions.
- Sawcut and remove portion of existing brick wall to allow the installation of the new door frame.
- Remove existing plumbing fixture. Refer to Plumbing sheets.
- Remove existing window stool.
- Existing door frame to remain. Fill strike and hinge holes/spaces, sand smooth, and repaint entire door frame.
- New door and welded, solid-grouted frame.
 - 3 hinges
 - Smoke gaskets
 - Push/pull hardware
 - Kick plate
 - Closer with 90 degree stop arm (cush stop)
- Existing door and frame to remain. Replace the existing lockset with an F-76 lockset.
- New door and welded, solid-grouted frame.
 - 3 hinges
 - Smoke gaskets
 - F-76 lockset
 - Kick plate
 - Closer
 - Wall stop
- Existing door and frame to remain.
- Remove existing 12" x 12" glue-up ceiling tile. Add a new layer of 5/8" gypsum board on the existing gypsum board ceiling. Install a knockdown finish on the new ceiling.
- Finish the brick wall where the door frame was removed to match the existing adjacent wall finish.
- New plumbing wall with 2x4 wood studs at 16" on center and 5/8" tile backer on one side.
- New plumbing wall with 2x6 wood studs at 16" on center and 5/8" tile backer on both sides.
- New plumbing wall with 2x6 wood studs at 16" on center and 5/8" tile backer on one side.
- New metal toilet partitions.
- New countertop. Refer to Sheet A401.
- Remove door sign and salvage to Owner.
- New door sign ("Restroom" text, men symbol, women symbol, and symbol of accessibility) provided by Owner and installed by contractor.
- New door sign ("Women" text, women symbol, and symbol of accessibility) provided by Owner and installed by contractor.
- Remove existing door sign.
- Install existing door sign on this door.



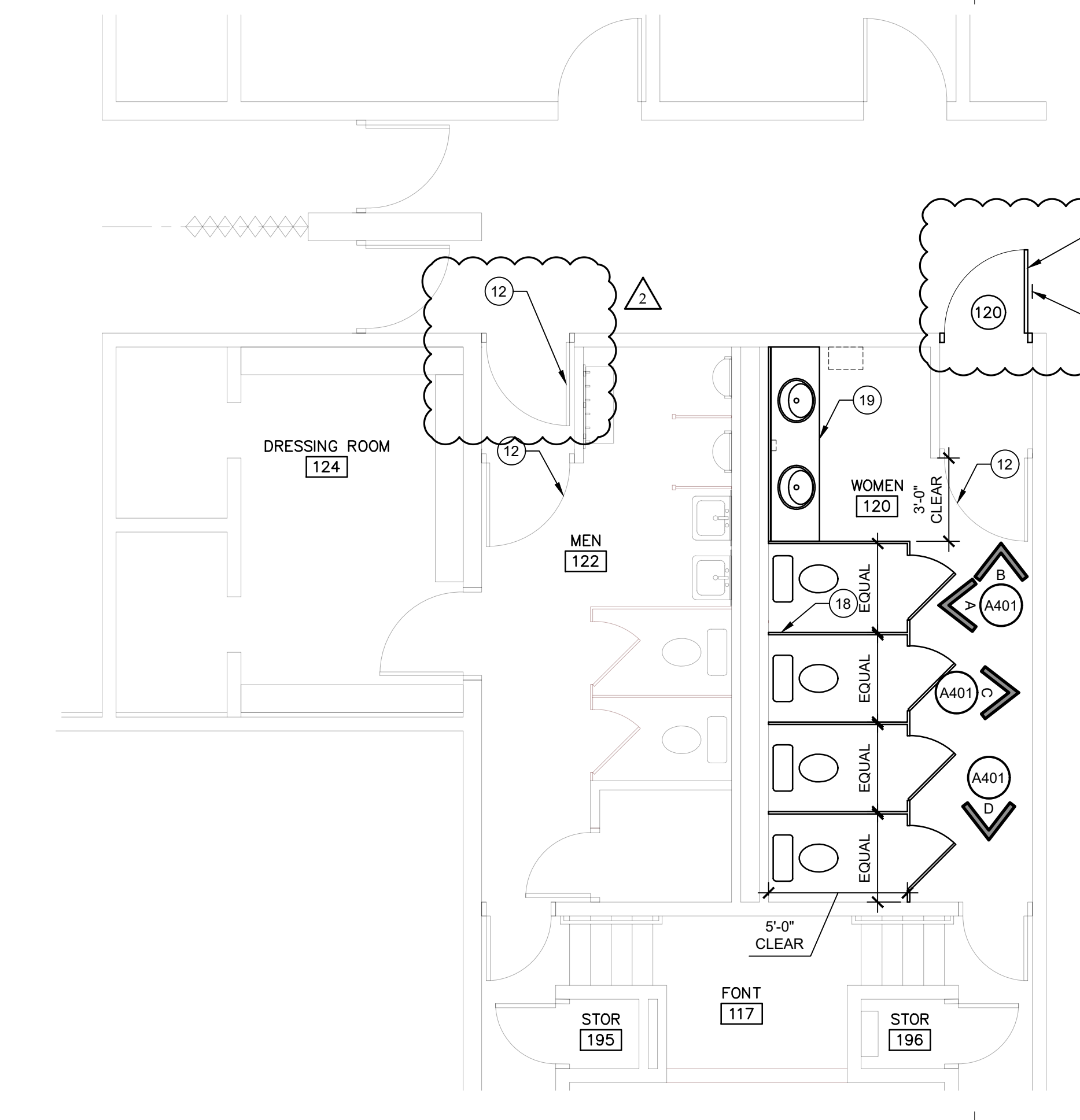
1 ENLARGED DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



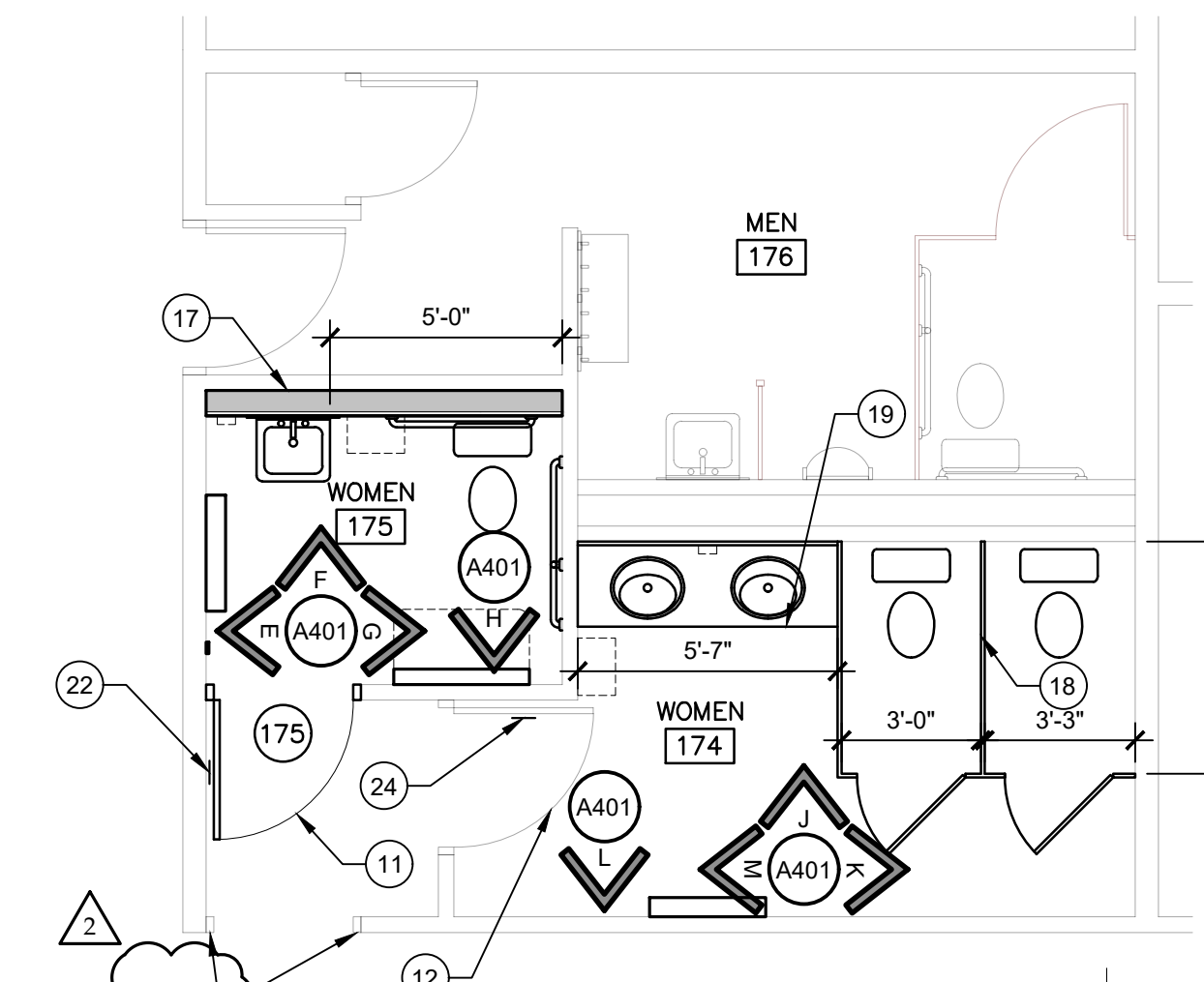
2 ENLARGED DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



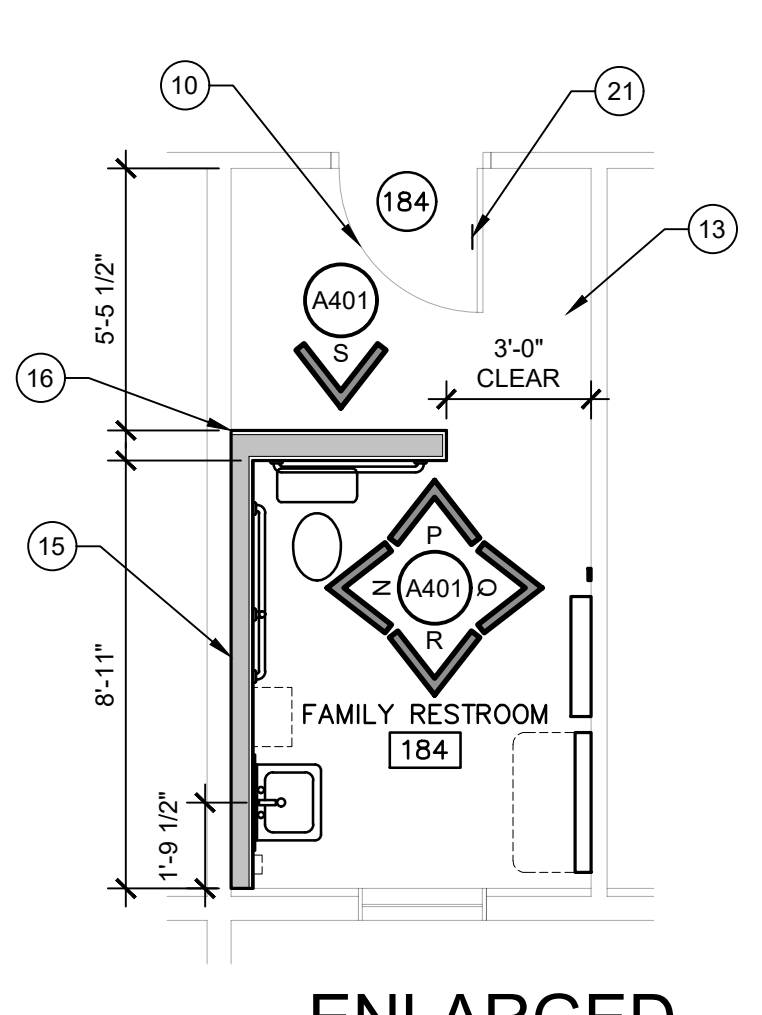
3 ENLARGED DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



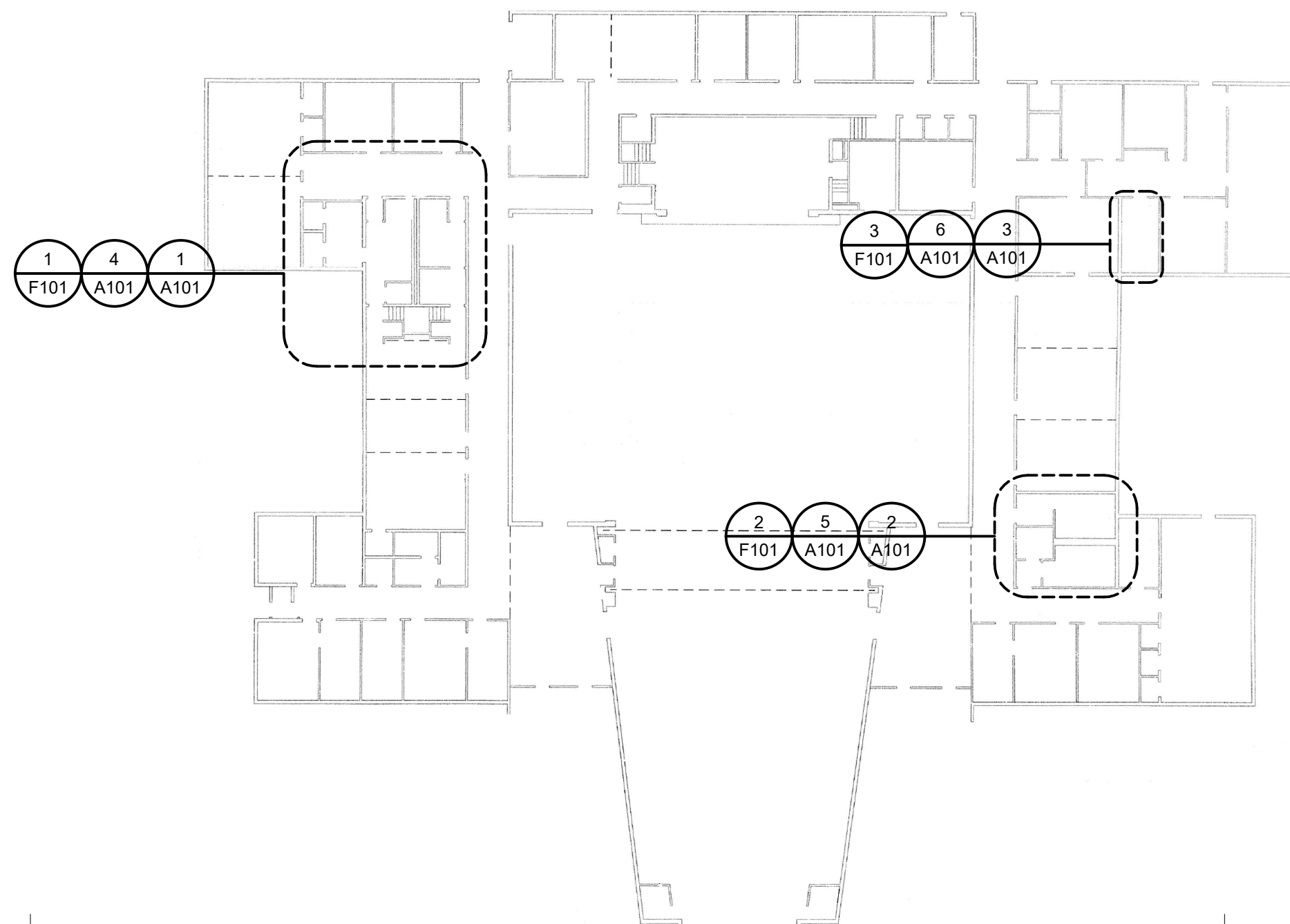
4 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



5 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



6 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



7 KEY PLAN
SCALE: NOT TO SCALE

DRAWING ISSUE SCHEDULE

#	DATE	DESCRIPTION
1	14 Apr 2017	Issue Documents
2	18 Apr 2017	Address #1

STAMP

ARCHITECTS

65 E. Wadsworth Park Dr., Ste. 205 • Phone: 801.571.0010
 Draper, Utah 84020 • Fax: 801.571.0303
 bldarchitects.com • Toll Free: 888.571.0010

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Lakeridge 1, 4, 7
Orem UT Lakeridge Stake

158 East 1100 South
 Orem, Utah

PROPERTY # 510-1409
 PLAN SERIES: Stevens
 BID/PROJECT # 1621
 DATE 14 Apr 2017

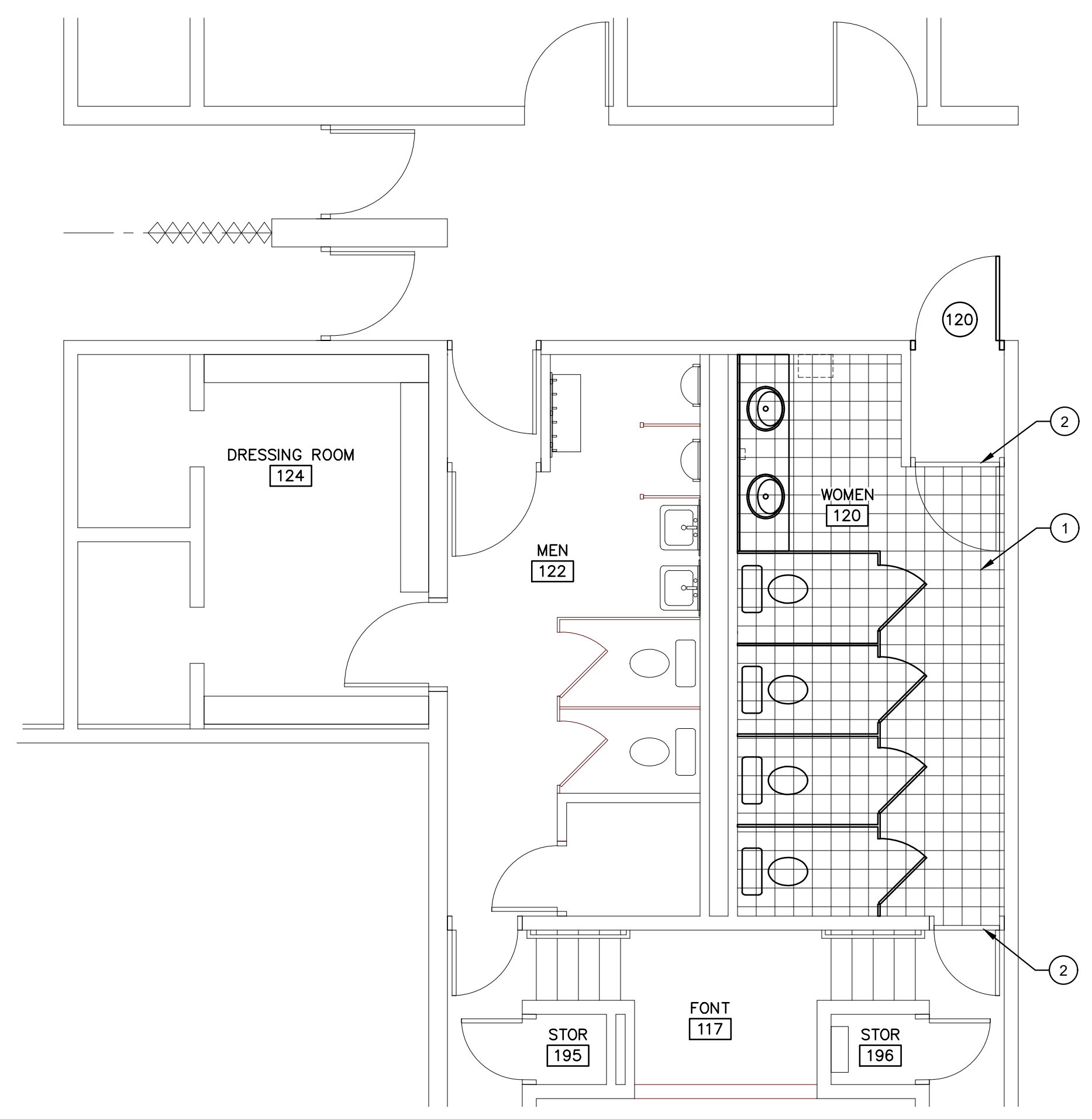
ENLARGED DEMOLITION PLANS AND ENLARGED PLANS

A101

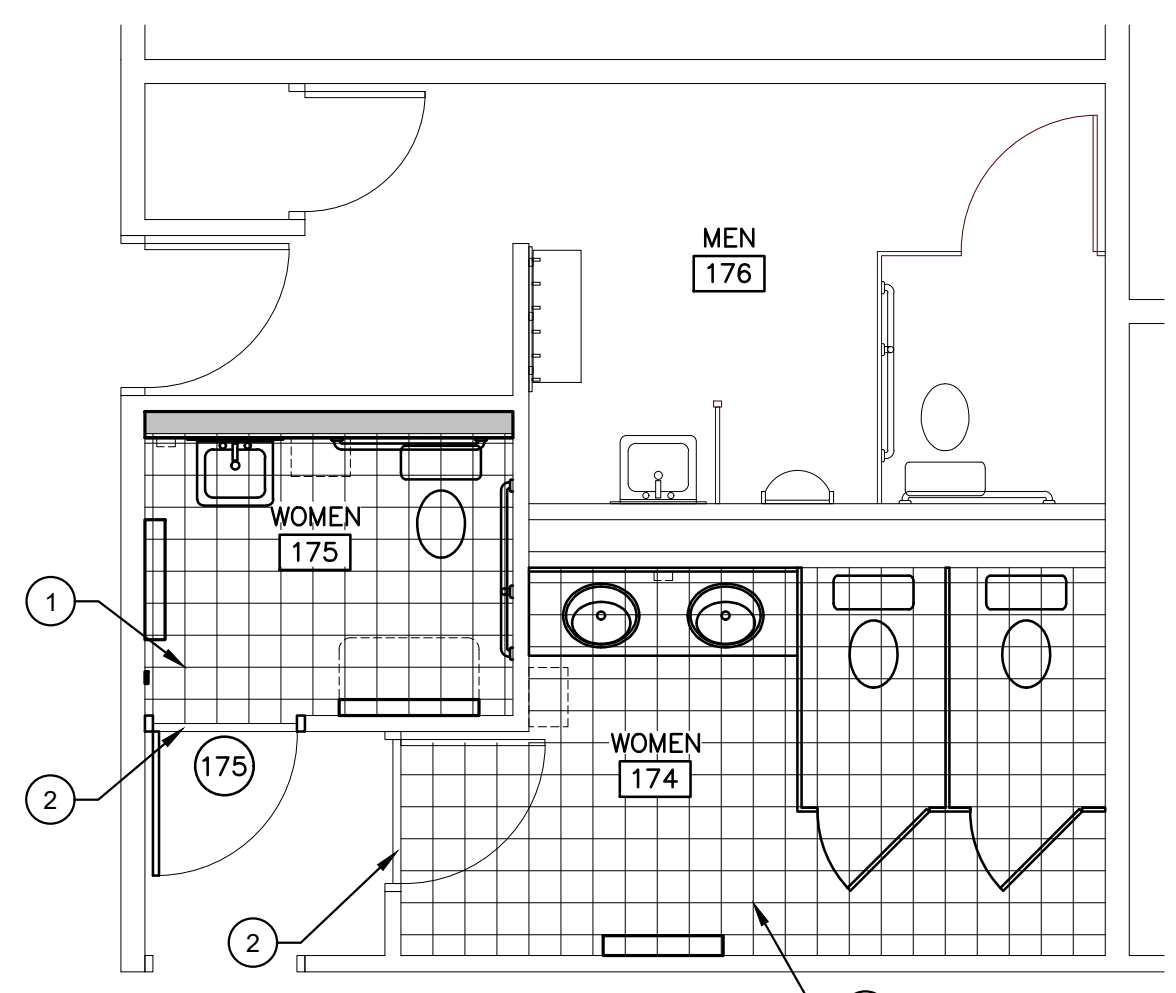
KEYED NOTES

1. New 8" x 8" paver floor tile. Remove existing floor finishes as necessary.
2. New stone threshold. Refer to Detail A/F101.

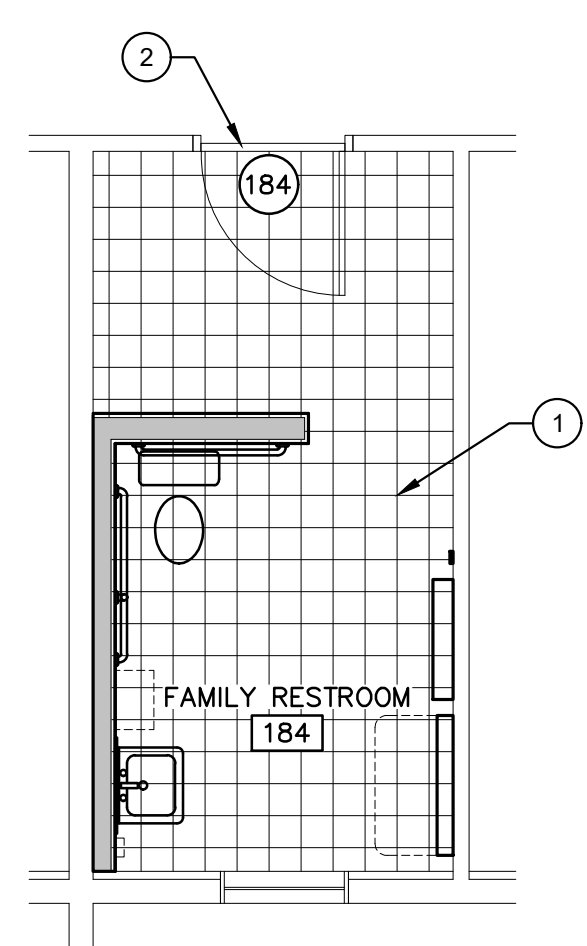
#	DATE	DESCRIPTION
2	18 Apr 2017	Revisions #1
1	14 Apr 2017	Iss. Documents



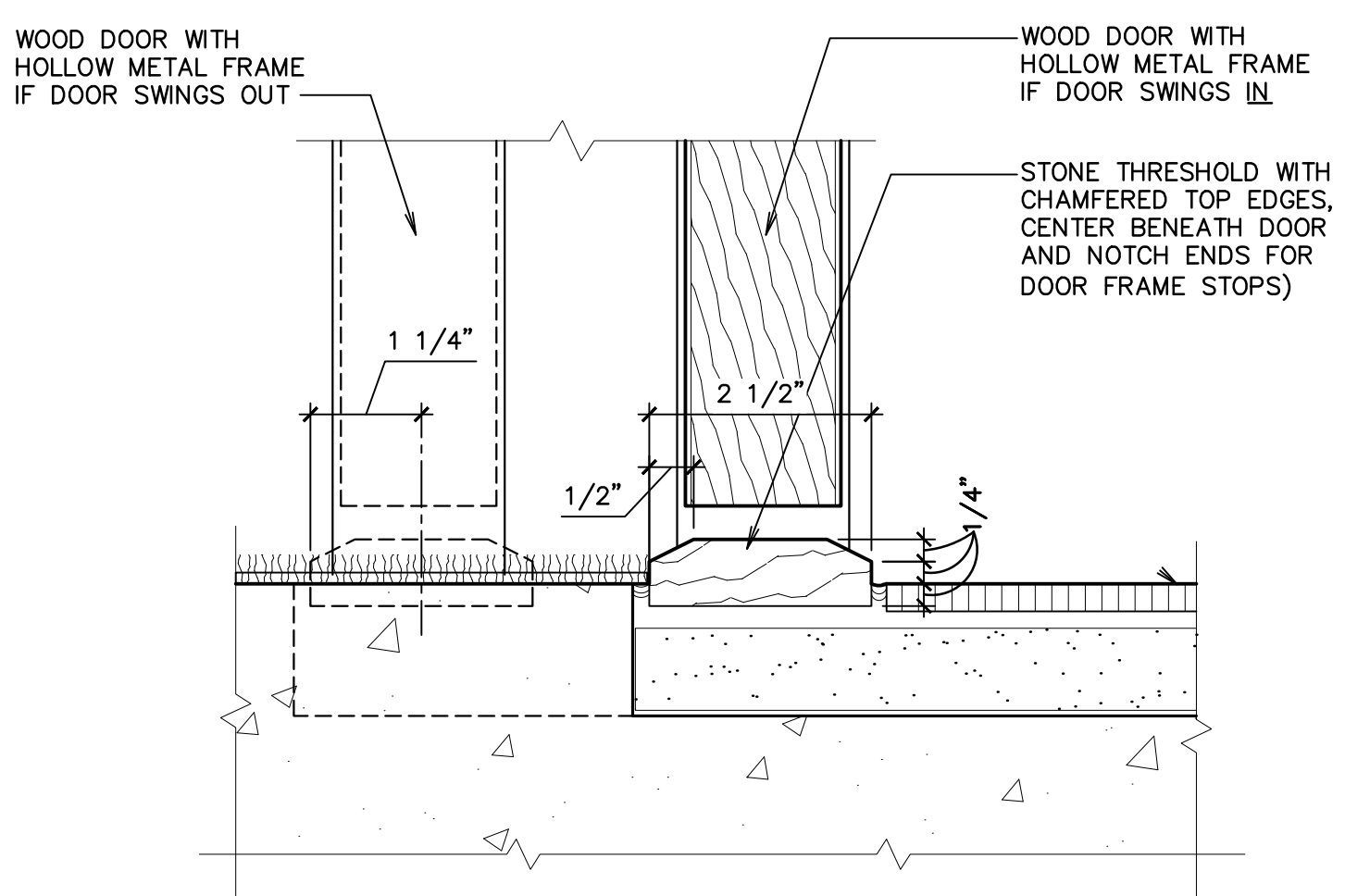
1 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



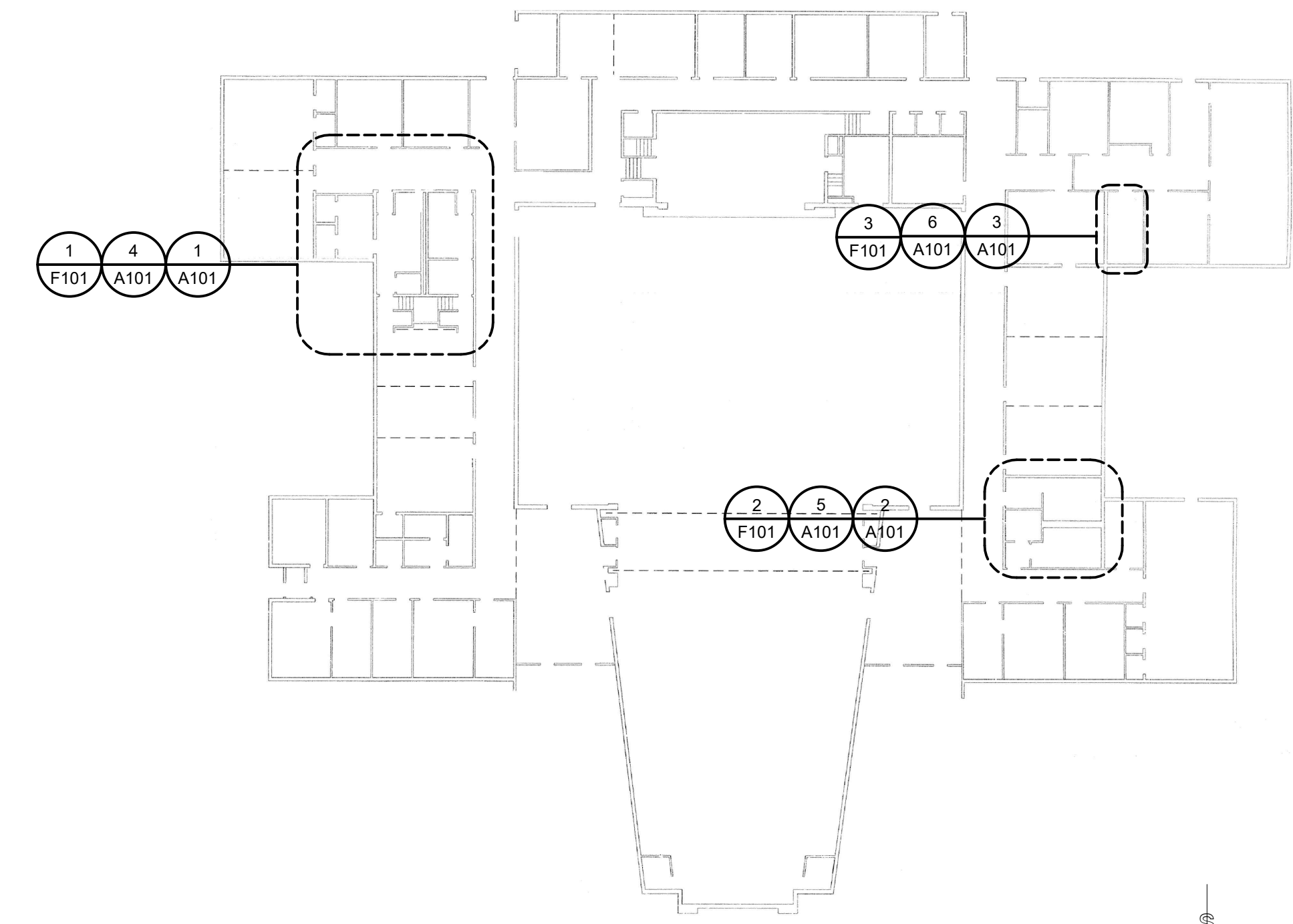
2 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



3 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



A DETAIL
SCALE: 6" = 1'-0"



4 KEY PLAN
SCALE: NOT TO SCALE

ARCHITECTS
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bidarchitects.com

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Lakeridge 1, 4, 7
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158 East 1100 South
Orem, Utah
DATE: 14 Apr 2017
BIDD PROJECT #: 1621
PLAN SERIES: Steverson
PROPERTY #: 510-1409

FLOOR FINISHES PLANS

F101