

ADDENDUM

Project: Highland UT Lone Peak Sr Seminary Office

Project No.: 544815819020101

Addendum No.: 1

Project Address: 1631 North 4800 West, Highland, Utah

Date: April 16, 2019

Owner: Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, a Utah corporation sole

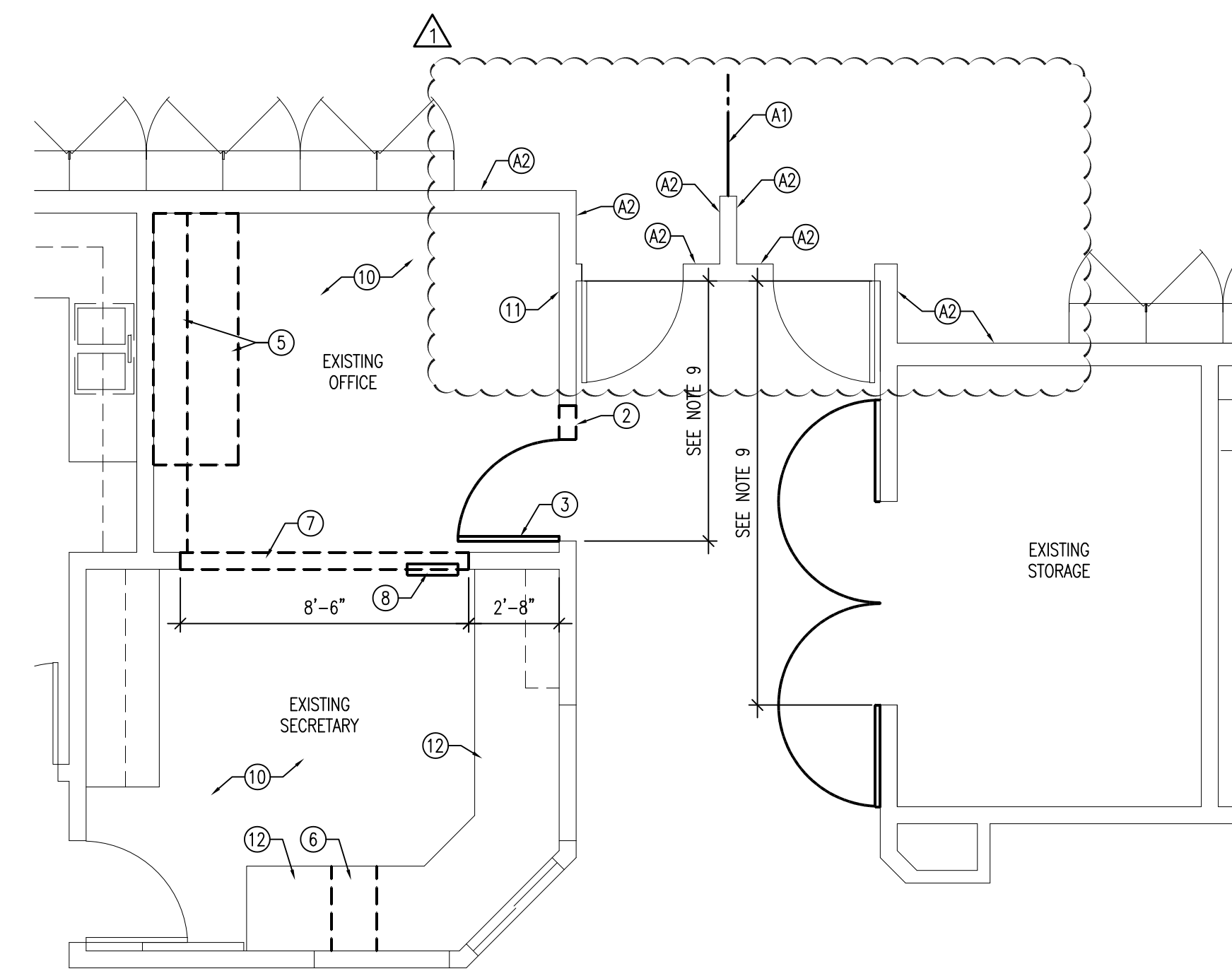
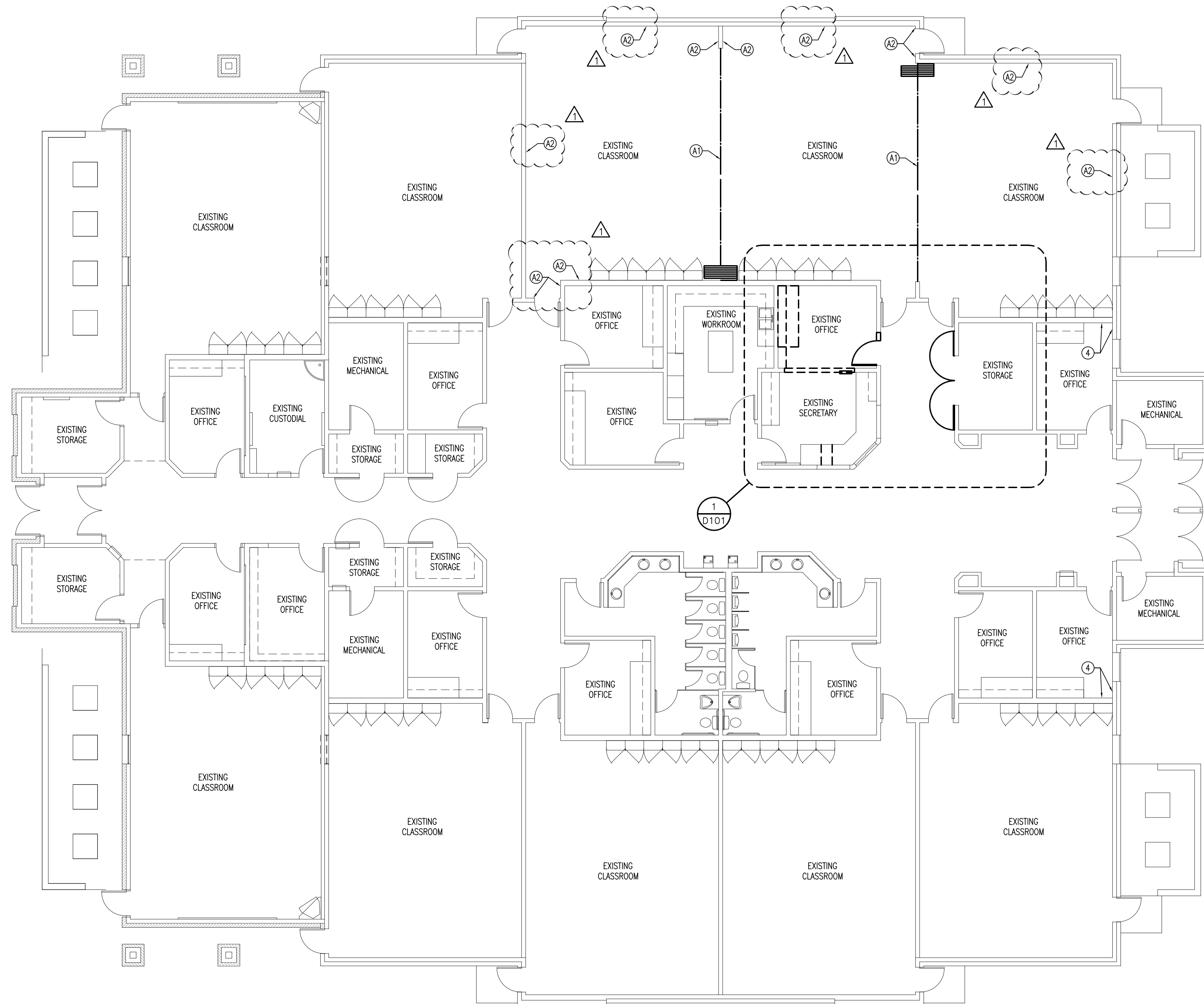
From (Architect): Evans & Associates Architecture

Instructions to Prospective Bidders:

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents and/or prior Addenda as noted below. All conditions, requirements, materials and workmanship are to be as described in the Contract Documents unless specifically stated otherwise. This Addendum consists of 3 page(s) and the attached drawing(s), Sheet(s) D101, A101, dated April 16, 2019

1. Changes to prior Addenda:
 - a. None
2. Changes to Bidding Requirements:
 - a. None
3. Changes to Conditions of the Contract:
 - a. None
4. Changes to Specifications:
 - a. None
5. Changes to Drawings:
 - a. D101: See attached revised sheet.
 - b. A101: See attached revised sheet.
 - c. E302: The contractor shall make note of the requirements listed in General Construction Notes listed on E302, specifically Note 5. The fire watch personnel shall remain on-site from the time the existing system is disconnected until the new system is installed, programmed and accepted by the fire marshal.

End of Addendum



1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYED NOTES

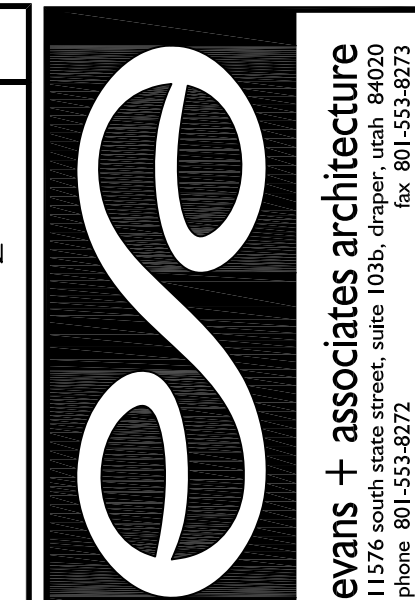
1. REMOVE EXISTING WALL CARPET
2. REMOVE EXISTING WALL FRAMING AND WALL FINISHES AS NEEDED FOR NEW WINDOW OPENING, COORDINATE WITH NEW CONSTRUCTION
3. REMOVE EXISTING WOOD DOOR, HOLLOW METAL FRAME AND ASSOCIATED HARDWARE, SALVAGE DOOR HOLD OPEN FOR REUSE
4. REMOVE EXISTING WOOD CEILING TRIM, SALVAGE FOR REUSE
5. REMOVE EXISTING CABINTRY, COUNTERTOP, UPPER CABINETS, SALVAGE FOR REUSE
6. REMOVE EXISTING DRAWER/LATERAL CABINET, SALVAGE FOR REUSE
7. REMOVE EXISTING WALL FRAMING AND ASSOCIATED WALL FINISHES, STOP OPENING AT 4" BELOW EXISTING CEILING
8. REMOVE EXISTING FIRE ALARM PANEL, SEE ELECTRICAL
9. REMOVE EXISTING CARPET BASE, WOOD CARPET BASE TRIM, WALL SISAL, WOOD CHAIR RAIL AND WALL FABRIC, SALVAGE WOOD CARPET BASE TRIM AND WOOD CHAIR RAIL
10. REMOVE EXISTING CARPET
11. REMOVE EXISTING RETURN GRILL, CAP AT TRUNK LINE
12. REMOVE EXISTING COUNTERTOP

BID ALTERNATE #1

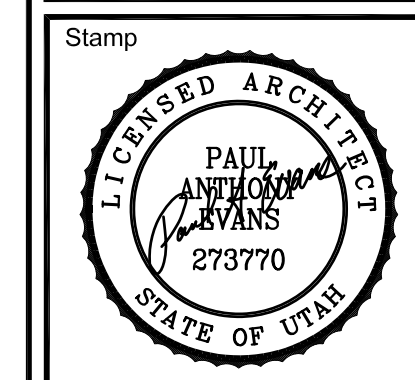
- A1. REMOVE EXISTING FOLDING PANEL DOOR
- A2. REMOVE EXISTING WALL CARPET, WOOD CHAIR RAIL, WALL SISAL AND CARPET BASE
- A3. REMOVE EXISTING WALL CARPET AND WOOD CEILING TRIM, SALVAGE WOOD CEILING TRIM FOR REUSE

GENERAL NOTES

1. THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL-INCLUSIVE, NOR TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS.
2. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
4. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK.



evans + associates architecture
11576 south lake street, suite 103b, draper, utah 84020
phone 801-933-9612



A R & I for:
Highland UT Lone Peak Sr Seminary Office
US Utah Valley North S&I Area
10361 North 4800 West
Highland, Utah

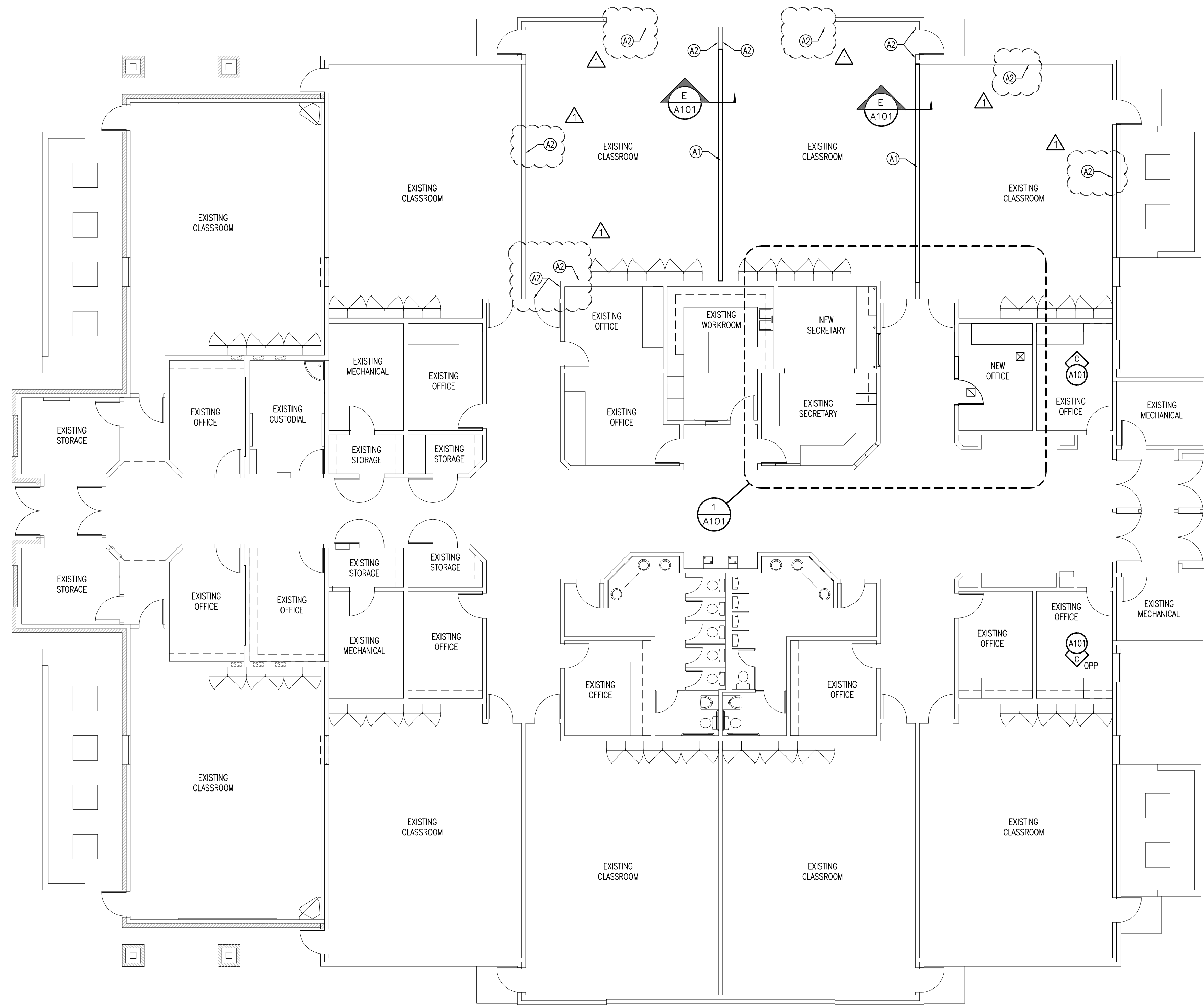
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date
Mark	ADDENDUM 01	4/16/2019

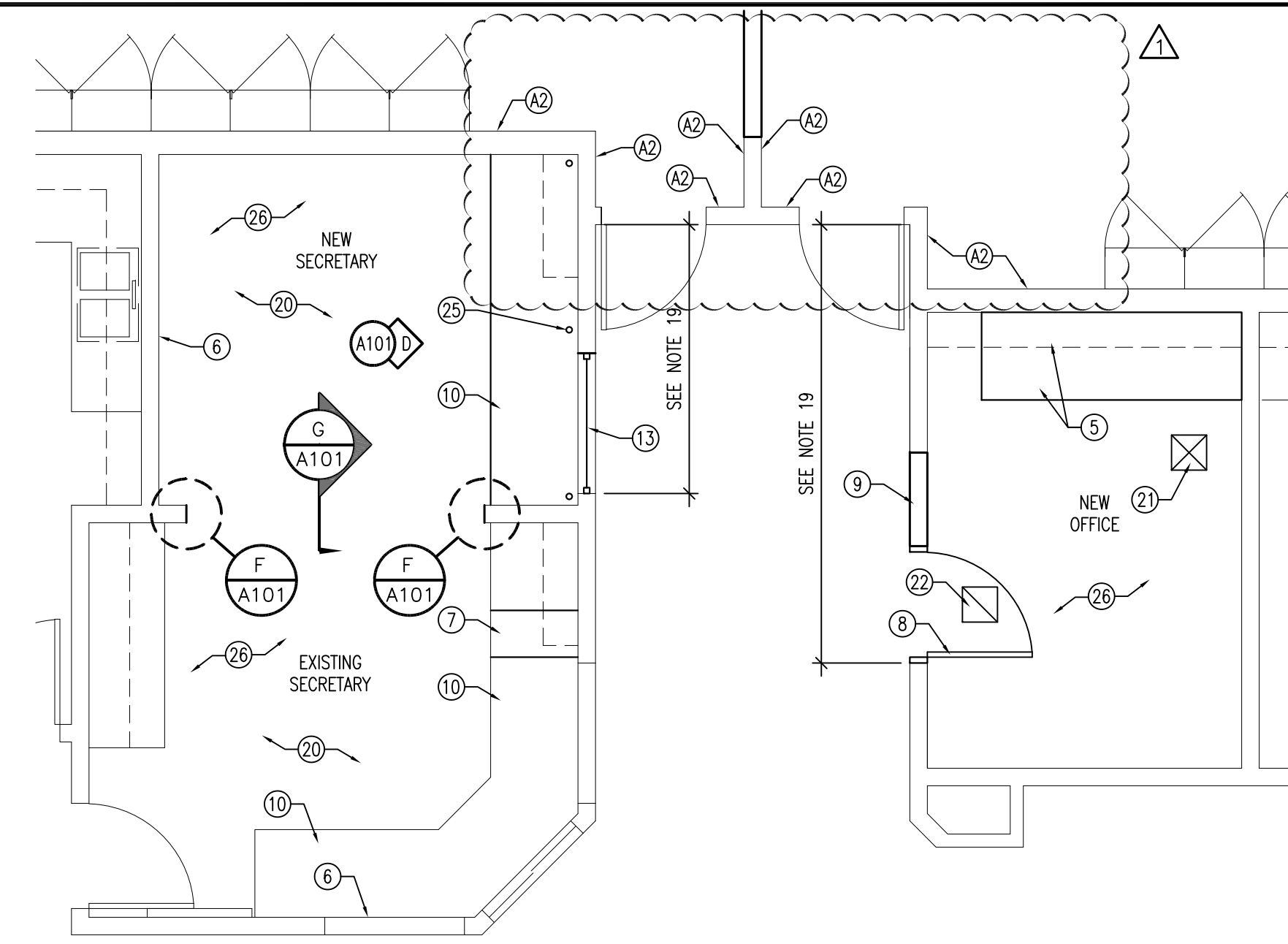
Project Number
19-09
Plan Series
R&I
Property Number
544815819020101
Date
March 4, 2019

Sheet Title
DEMOLITION FLOOR PLAN

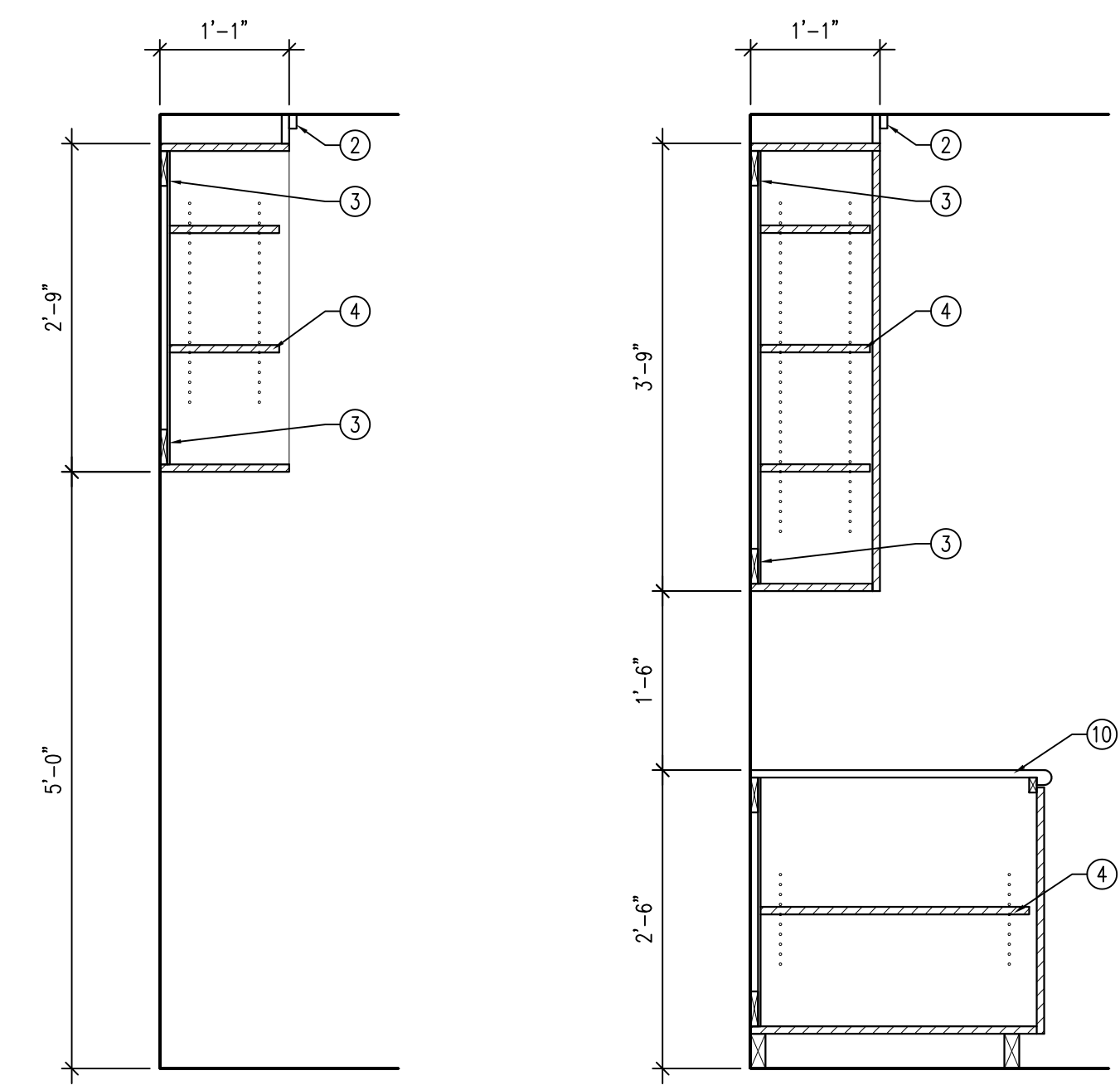
Sheet
D101



FLOOR PLAN
SCALE: 1/8" = 1'-0"

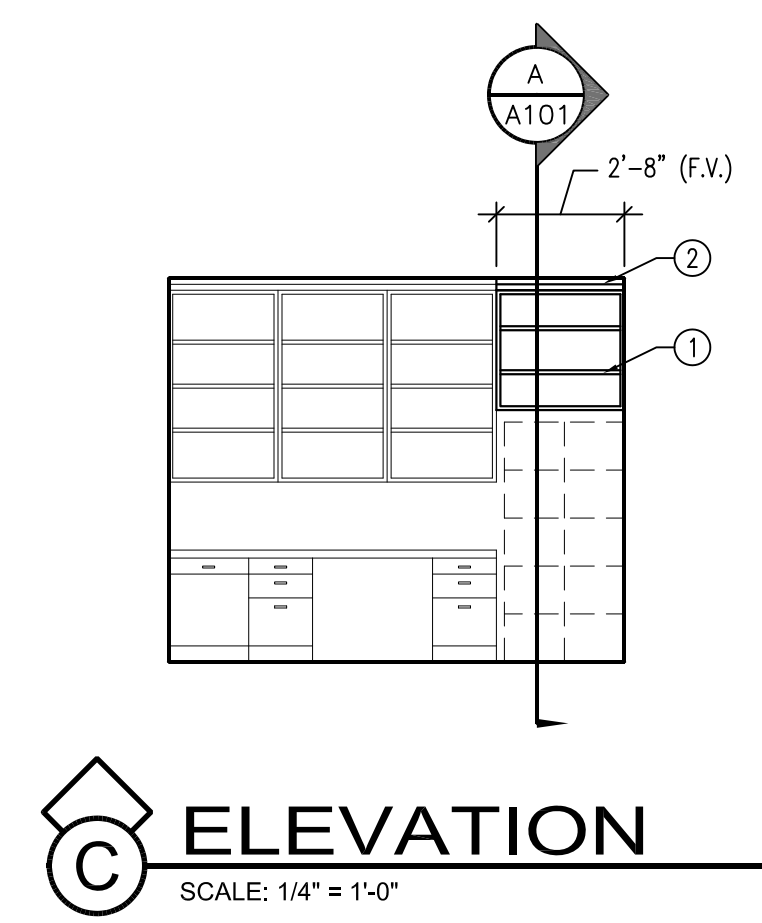


1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

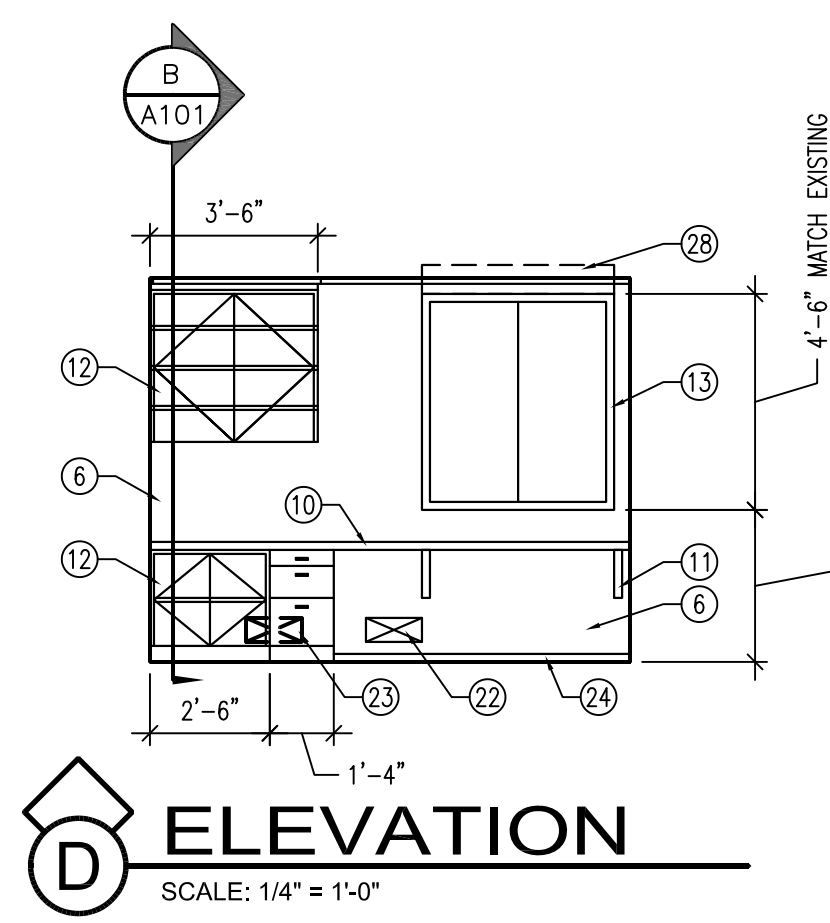


A SECTION SCALE: 3/4" = 1'-0"
B SECTION SCALE: 3/4" = 1'-0"

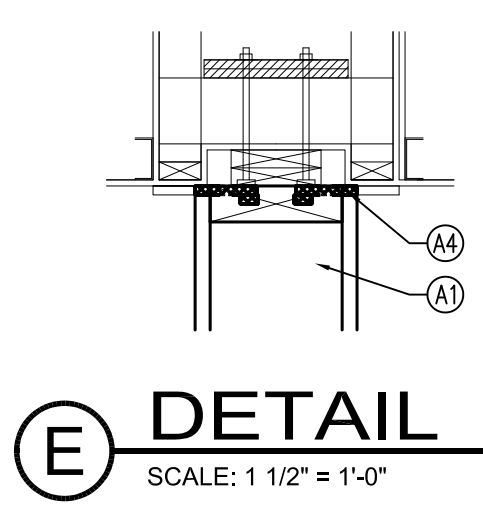
- KEYED NOTES**
- NEW UPPER CABINET
 - INSTALL SALVAGED WOOD CEILING TRIM
 - 1x4 CONTINUOUS MOUNTING TRIP WITH 1/4" SCREWS AT 16" O.C. TOP AND BOTTOM INTO STUDS
 - ADJUSTABLE SHELVES
 - INSTALL SALVAGED CABINERY, COUNTERTOP AND UPPER CABINETS, MODIFY UPPER CABINETS AS NECESSARY TO FIT IN THE REDUCED SPACE
 - PATCH AND REPAIR EXISTING GYPSUM BOARD WALL, PAINT
 - INSTALL SALVAGED DRAWER/LATERAL CABINET
 - NEW 3'-0" x 7'-0" SOLID CORE WOOD DOOR WITH A 6" x 2'-0" VIEW WINDOW (MATCH EXISTING) WITH A HOLLOW METAL DOOR FRAME. HOLLOW METAL DOOR FRAME SHALL BE FILLED WITH BATT INSULATION. HARDWARE INCLUDES: 3 HINGES, SMOKE GASKETS, OFFICE LOCKSET, SALVAGED DOOR HOLD OPEN
 - NEW 2x WALL FRAMING TO MATCH EXISTING WITH 5/8" GYPSUM BOARD ON EACH SIDE
 - NEW COUNTERTOP TO MATCH EXISTING COLOR AND STYLE
 - COUNTERTOP BRACKET, PAINT
 - NEW CABINET TO MATCH EXISTING COLOR AND STYLE
 - NEW 4'-0" x 4'-0" SLIDING GLASS WINDOW WITH LOCK (1/4" TEMPERED)
 - NEW 3/4" x 7" HARDWOOD TRIM TO MATCH EXISTING
 - NEW 5/8" GYPSUM BOARD
 - PATCH WALL FABRIC
 - REINSTALL SALVAGED WOOD CEILING TRIM
 - NEW (3) 2x8 HEADER WITH 1/2" SHEATHING SHIMS WITH (1) BEARING STUD AND (2) KING STUDS (IF IT IS DISCOVERED THAT THIS IS A BEARING WALL DURING CONSTRUCTION, THE ARCHITECT SHALL BE NOTIFIED)
 - NEW WALL FINISHES
 - NEW CARPET BASE (FROM OWNER STOCK)
 - NEW WOOD CARPET BASE TRIM TO MATCH EXISTING
 - NEW WALL SIGAL (FROM OWNER STOCK)
 - NEW WOOD CHAIR RAIL TO MATCH EXISTING
 - NEW WALL FABRIC (FROM OWNER STOCK)
 - NEW CARPET
 - NEW SUPPLY GRILL, CONNECT TO EXISTING SUPPLY DUCTWORK, PROVIDE A BALANCING DAMPER
 - NEW RETURN GRILL, CONNECT TO EXISTING RETURN DUCTWORK
 - REMOVE EXISTING RETURN GRILL, CAP AT TRUNK LINE
 - NEW WOOD BASE TRIM, MATCH EXISTING
 - GROMMET, TYPICAL OF (3)
 - PAINT ALL WALLS IN OFFICE
 - (1) BEARING STUD AND (2) KING STUDS (IF IT IS DISCOVERED THAT THIS IS A BEARING WALL DURING CONSTRUCTION, THE ARCHITECT SHALL BE NOTIFIED)
 - NEW (2) 2x8 HEADER WITH 1/2" SHEATHING SHIMS WITH (1) BEARING STUD AND (1) KING STUDS (IF IT IS DISCOVERED THAT THIS IS A BEARING WALL DURING CONSTRUCTION, THE ARCHITECT SHALL BE NOTIFIED)



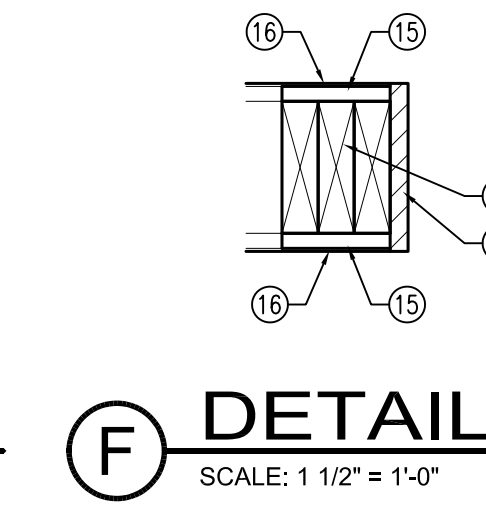
C ELEVATION
SCALE: 1/4" = 1'-0"



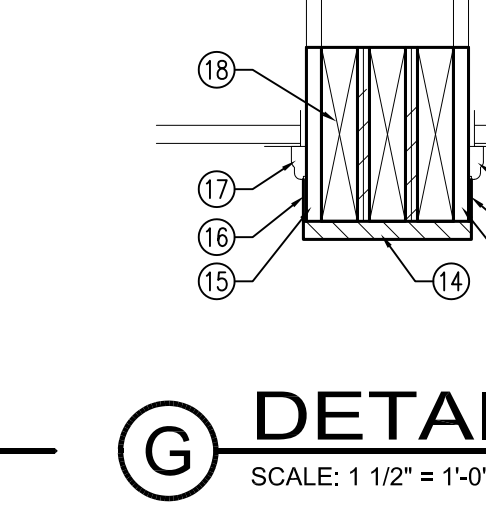
D ELEVATION
SCALE: 1/4" = 1'-0"



E DETAIL
SCALE: 1 1/2" = 1'-0"



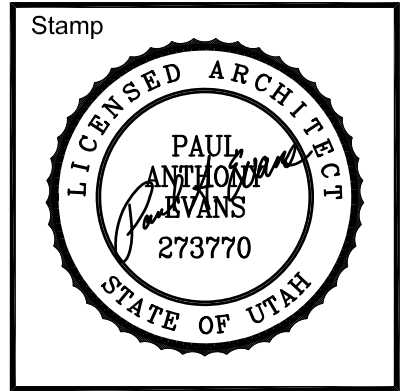
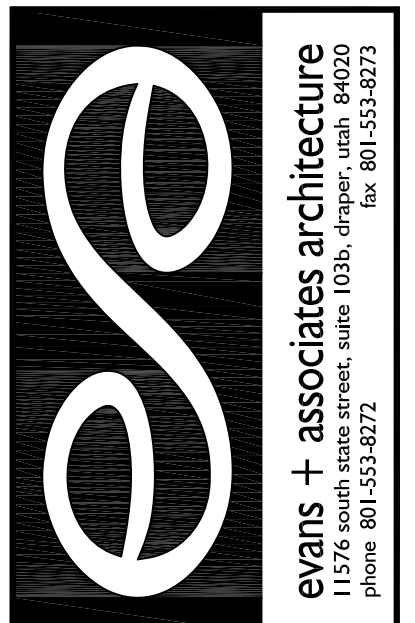
F DETAIL
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G DETAIL
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Revisions	Description	Date	Mark
	ADDENDUM 01	4/16/2019	

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<ol style="list-style-type: none"> THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL-INCLUSIVE, NOR TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK. 	<ol style="list-style-type: none"> NEW 2x6 WALL FRAMING WITH BATT INSULATION WITH 5/8" GYPSUM BOARD ON EACH SIDE <ul style="list-style-type: none"> NEW CARPET BASE ON EACH SIDE NEW WALL SIGAL BELOW CHAIR RAIL ON EACH SIDE (FROM OWNER STOCK) NEW CHAIR RAIL TO MATCH EXISTING PROFILE ON EACH SIDE NEW PAINT ABOVE CHAIR RAIL ON EACH SIDE NEW WALL FINISHES <ul style="list-style-type: none"> NEW CARPET BASE NEW WALL SIGAL BELOW CHAIR RAIL NEW CHAIR RAIL TO MATCH EXISTING PROFILE SKIM COAT EXISTING WALL WITH NEW PAINT ABOVE CHAIR RAIL SKIM COAT EXISTING WALL WITH NEW PAINT ABOVE CHAIR RAIL, REINSTALL SALVAGED WOOD CEILING TRIM REMOVE EXISTING CEILING WOOD TRIM, CUT TO FIT NEW WALL FRAMING AND REINSTALL



Architect for:
Highland UT Lone Peak Sr Seminary Office
US Utah Valley North S&I Area
 10361 North 4800 West
 Highland, Utah

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THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

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Project Number: 19-09
 Plan Series: R&I
 Property Number: 544815819020101
 Date: March 4, 2019

Sheet Title: **FLOOR PLAN**
 Sheet: **A101**