

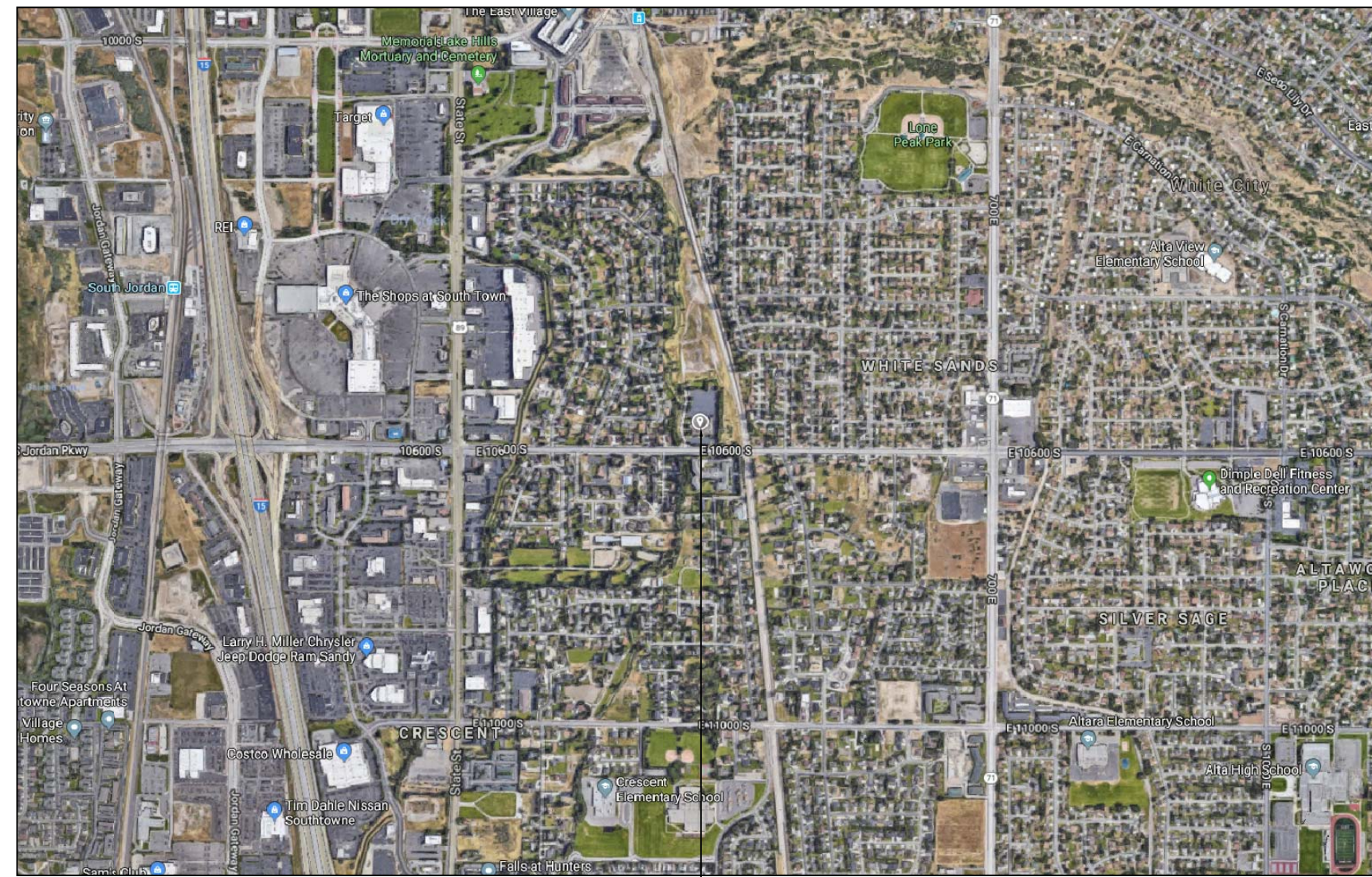
THE CHURCH OF
JESUS CHRIST
 OF LATTER-DAY SAINTS

CRESCENT I, 16 & 24
SANDY UTAH CRESCENT SOUTH STAKE
VESTIBULE AND CONCRETE REPLACEMENT

275 EAST 10600 SOUTH
 SANDY, UTAH
 PROPERTY #517-9971

DRAWING INDEX:

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PROJECT LOCATION
VICINITY MAP

GENERAL NOTES

ADOPTED CODES:
 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL EXISTING BUILDING CODE
 THIS PROJECT IS TO BE CONSTRUCTED IN COMPLIANCE OF THE ADOPTED CODES BY THE GOVERNING AGENCY.

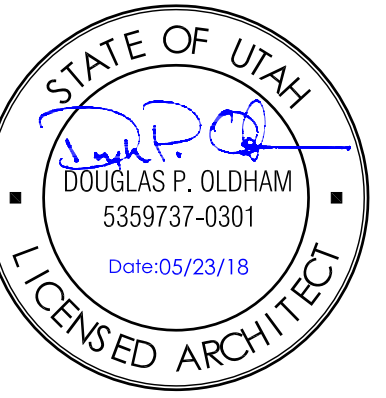
THESE DRAWINGS INDICATE THE GENERAL DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE BUILDER TO DICTATE METHODS OF CONSTRUCTION AND COORDINATE SPECIFICATIONS WITH OWNER AND PRODUCT MANUFACTURERS. THE BUILDER SHALL VERIFY ALL DIMENSIONS OF MANUFACTURER COMPONENTS AND RELATIONSHIP BETWEEN MATERIALS OR COMPONENTS. THE BUILDER SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS INCLUDING ALL EXISTING GRADES AT THE SITE.

THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR DEFICIENCIES THAT THE CONTRACTOR FINDS IN THE DRAWINGS. FAILURE TO NOTIFY THE ARCHITECT OF CHANGES BY THE OWNER OR CONTRACTOR SHALL CONSTITUTE ACCEPTANCE BY THE OWNER OR CONTRACTOR OF ALL RESPONSIBILITY FOR THE CHANGE.

THESE DRAWINGS REPRESENT THE INSTRUMENTS OF SERVICE AND ARE THE SOLE OWNERSHIP OF THE ARCHITECT. ANY CHANGES TO THESE PLANS WITHOUT THE CONSENT OF THE ARCHITECT IS PROHIBITED AND CONSTITUTES A VIOLATION OF COPYRIGHT LAW.

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CONSULTANTS:

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JESUS CHRIST
 OF LATTER-DAY SAINTS

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 LATTER-DAY SAINTS

PROPERTY NUMBER: 517-9971
 PROJECT DESIGNATION: ----



13812 Knollwood Dr.
 Baxter, Minnesota 56425
 tel. 218.454.7811

ARCHITECT
 Douglas P. Oldham

PROJECT:
VEST. AND CONC. REPLACEMENT
 275 East 10600 South
 Sandy, Utah ----

OWNER:
 Sandy FM Group
 PROJECT NUMBER: 517-9971

ISSUE LOG:

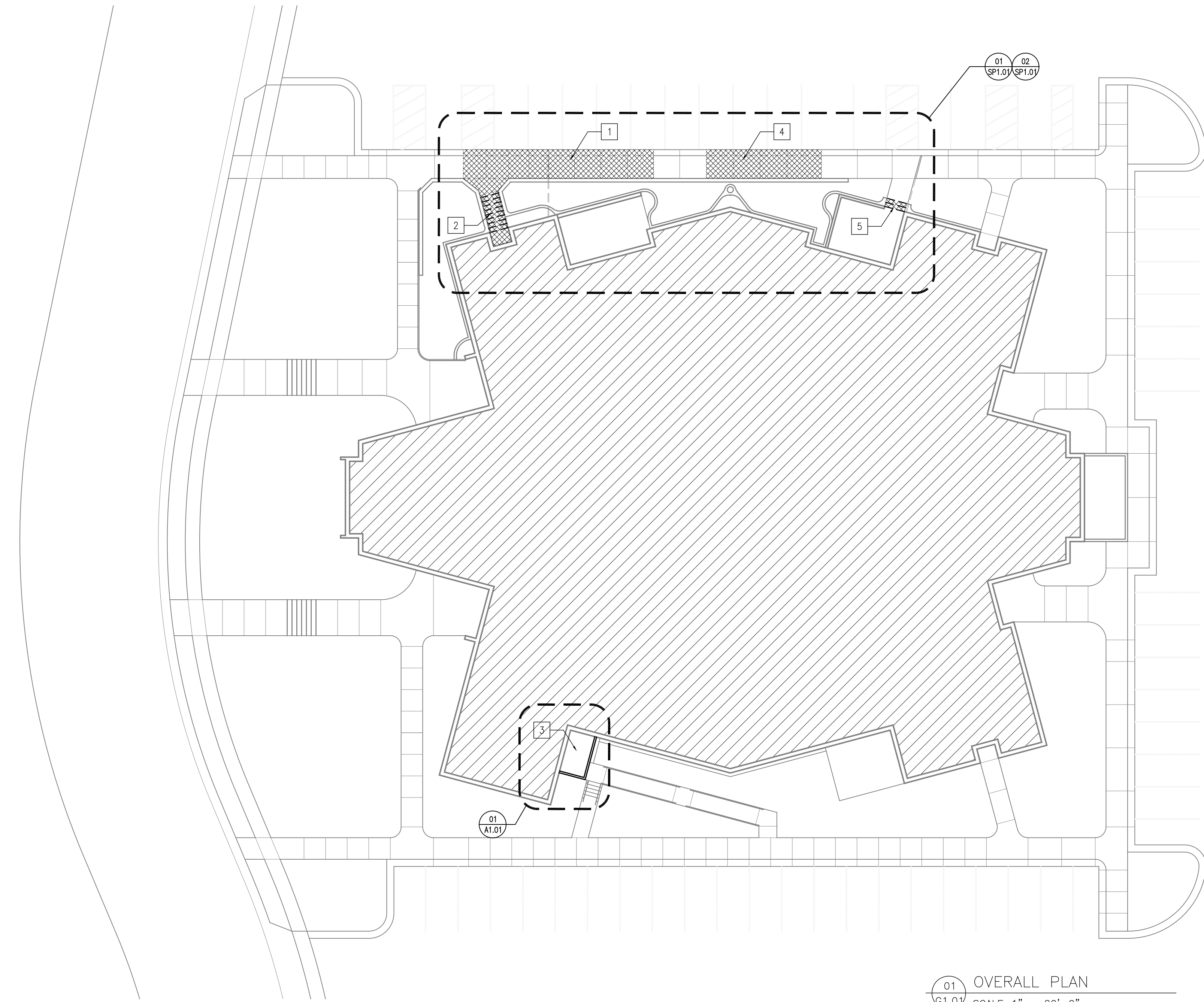
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SHEET TITLE:
COVER

SHEET NUMBER:

G1.00

DATE: 05/23/18



01 OVERALL PLAN
G1.01 SCALE: 1" = 20'-0"

- GENERAL NOTES:**
1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES.
 2. DO NOT SCALE DRAWINGS.
 3. PROTECTS EXISTING STRUCTURES, FINISHES AND MATERIALS FROM DAMAGE.
 4. RESTORE ALL AREAS NOT INCLUDED IN THE WORK BUT DISTURBED BY THE WORK TO THEIR ORIGINAL CONDITIONS.
 5. DUE TO EXISTING CONDITIONS, ALL REQUIRED WORK MAY NOT BE EXPLICITLY REPRESENTED IN THE DOCUMENTS.
- PROJECT SCOPE:**
1. BASE BID: REMOVE EXISTING CONCRETE SIDEWALK AND GUTTER. REMOVE ADJACENT PAVING (MAX. 2'). PROVIDE NEW CONCRETE SIDEWALK AND GUTTER AND ADJACENT ASPHALT PAVING.
 2. BASE BID: REMOVE EXISTING CONCRETE STAIRS, STOOP AND HANDRAILS. PROVIDE NEW CONCRETE STAIRS AND HANDRAILS.
 3. BASE BID: ADD NEW VESTIBULE WITH NEW STOREFRONT SYSTEM AND DOOR. PROVIDE NEW CARPET TILE ON EXISTING CONCRETE SLAB.
 4. ALTERNATE BID #1: REMOVE EXISTING CONCRETE SIDEWALK AND GUTTER. REMOVE ADJACENT PAVING (MAX. 2'). PROVIDE NEW CONCRETE SIDEWALK AND GUTTER AND ADJACENT ASPHALT PAVING.
 5. ALTERNATE BID #2: REMOVE EXISTING CONCRETE STEPS. PROVIDE NEW CONCRETE STAIRS AND HANDRAILS.

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275 East 10600 South
Sandy, Utah ----

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Sandy FM Group
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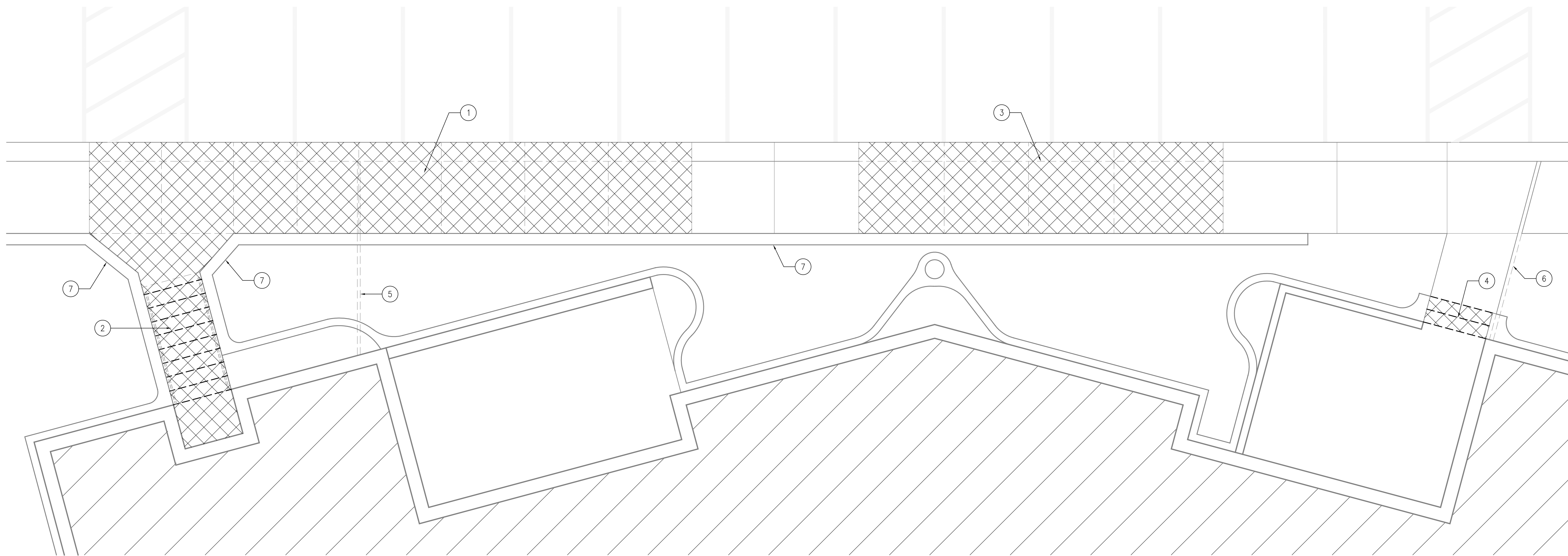
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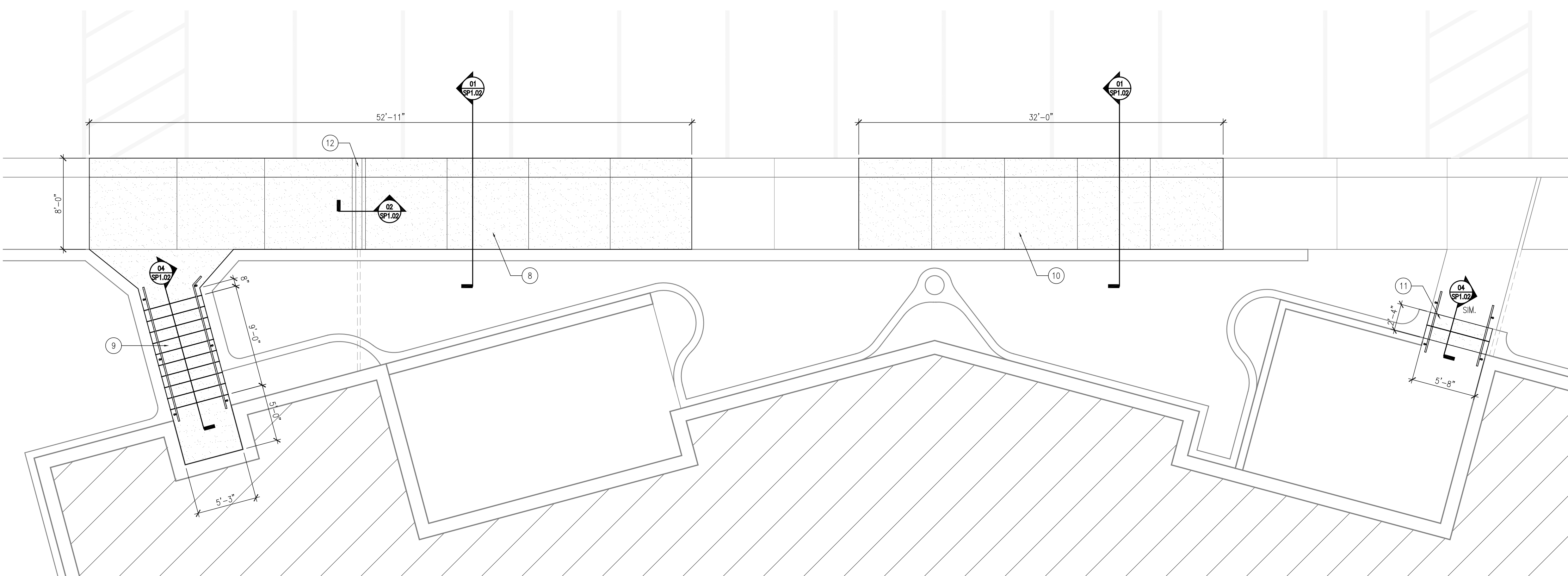
SHEET TITLE:
OVERALL PLAN SCOPE

SHEET NUMBER:
G1.01

DATE: 05/23/18



01 SITE DEMOLITION PLAN
 SP1.01 SCALE: 3/16" = 1'-0"

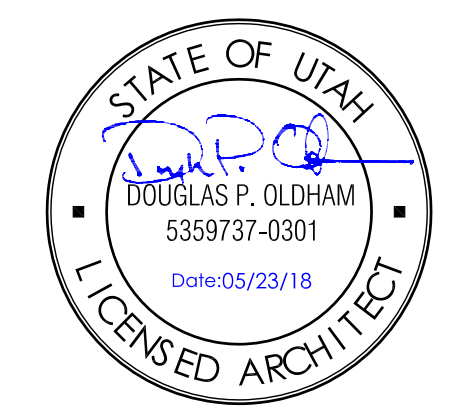


01 SITE DEMOLITION PLAN
 SP1.01 SCALE: 3/16" = 1'-0"

- GENERAL NOTES:**
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 2. DO NOT SCALE DRAWINGS.
 3. PROTECTS EXISTING STRUCTURES, FINISHES AND MATERIALS FROM DAMAGE.
 4. RESTORE ALL AREAS NOT INCLUDED IN THE WORK BUT DISTURBED BY THE WORK TO THEIR ORIGINAL CONDITIONS.
 5. DUE TO EXISTING CONDITIONS, ALL REQUIRED WORK MAY NOT BE EXPLICITLY REPRESENTED IN THE DOCUMENTS.
- KEYED NOTES:**
1. BASE BID: REMOVE EXISTING CONCRETE SIDEWALK AND GUTTER. REMOVE ADJACENT PAVING (MAX. 2'). REMOVE SOILS DOWN AN ADDITIONAL 10" TO ALLOW FOR NEW SUBGRADE AND GRANULAR BASE. AREA SHOWN HATCHED.
 2. BASE BID: REMOVE EXISTING CONCRETE STAIRS, RAILING, STOOP AND LANDING. REMOVE ADDITIONAL 14" OF SOIL FOR NEW SUBGRADE AND GRANULAR BASE. AREA SHOWN HATCHED.
 3. ALTERNATE BID #1: REMOVE EXISTING CONCRETE SIDEWALK AND GUTTER. REMOVE ADJACENT PAVING (MAX. 2'). REMOVE SOILS DOWN AN ADDITIONAL 10" TO ALLOW FOR NEW SUBGRADE AND GRANULAR BASE. AREA SHOWN HATCHED.
 4. ALTERNATE BID #2: REMOVE EXISTING CONCRETE STAIRS. REMOVE ADDITIONAL 14" OF SOIL FOR NEW SUBGRADE AND GRANULAR BASE. AREA SHOWN HATCHED.
 5. EXISTING DRAIN TO REMAIN FROM RETAINING WALL TO EXISTING BUILDING. VERIFY DRAIN IS CLEAR OF DEBRIS AND IS FREE FLOWING.
 6. EXISTING TRENCH DRAIN TO REMAIN
 7. EXISTING RETAINING WALL TO REMAIN
 8. BASE BID: NEW CONCRETE SIDEWALK WITH INTEGRAL GUTTER. PROVIDE MIN. 6" NEW SUBGRADE AND NEW 4" GRANULAR BASE.
 9. BASE BID: NEW CONCRETE STAIRS, STOOP, LANDING AND METAL HANDRAILS. PROVIDE MIN. 6" NEW SUBGRADE AND NEW 8" GRANULAR BASE.
 10. ALTERNATE BID #1: NEW CONCRETE SIDEWALK WITH INTEGRAL GUTTER. PROVIDE MIN. 6" NEW SUBGRADE AND NEW 4" GRANULAR BASE.
 11. ALTERNATE BID #2: NEW CONCRETE STAIRS, STOOP, LANDING AND METAL HANDRAILS. PROVIDE MIN. 6" NEW SUBGRADE AND NEW 8" GRANULAR BASE.
 12. NEW SIDEWALK DRAINAGE

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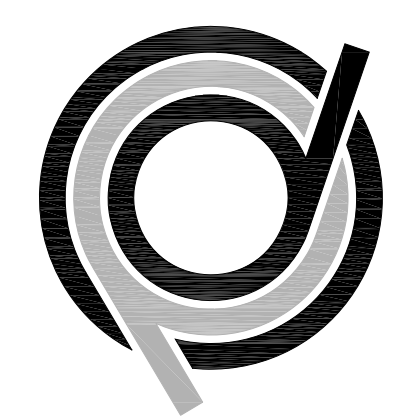
CONSULTANTS:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

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PROPERTY NUMBER: 517-9971

PROJECT DESIGNATION: ----



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ARCHITECT
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PROJECT:
VEST. AND CONC. REPLACEMENT
 275 East 10600 South
 Sandy, Utah ----

OWNER:
 Sandy FM Group
 PROJECT NUMBER: 517-9971

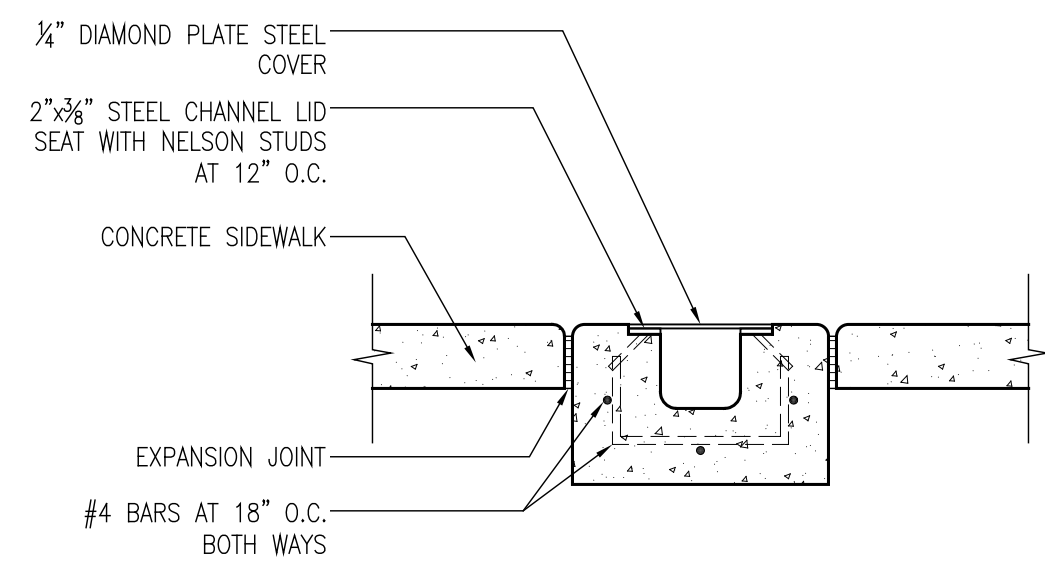
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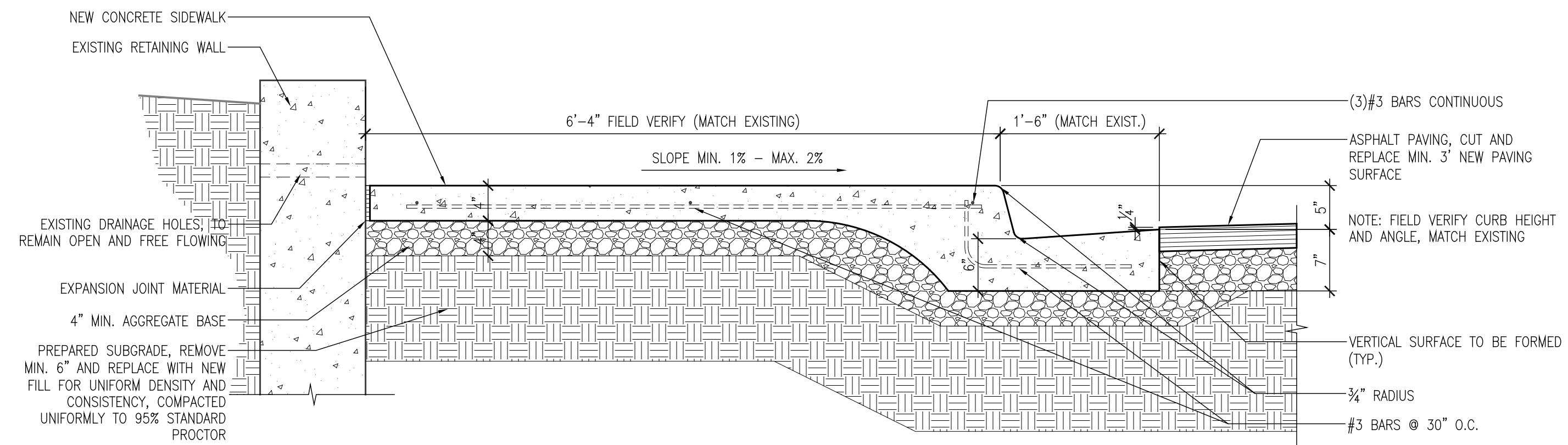
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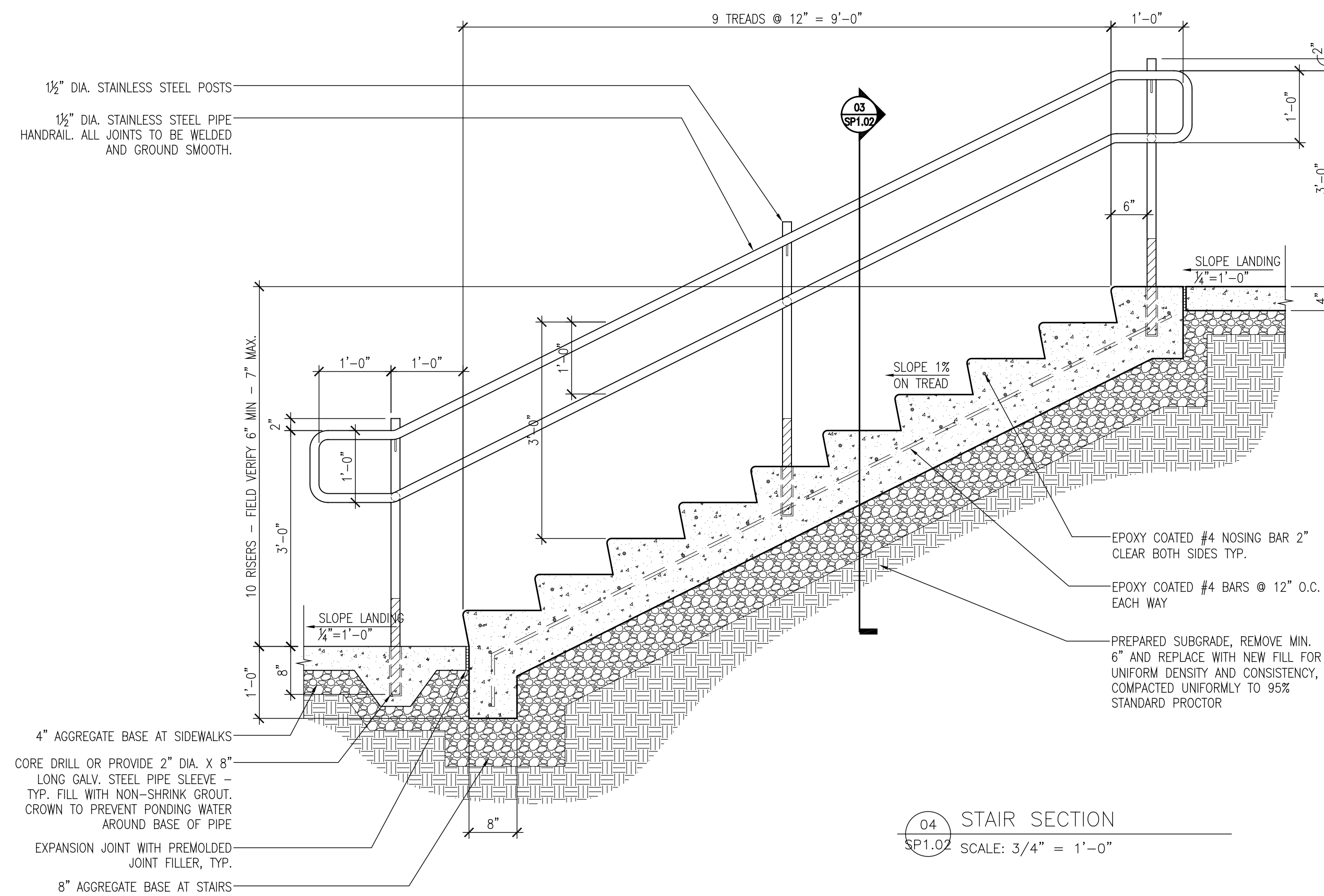
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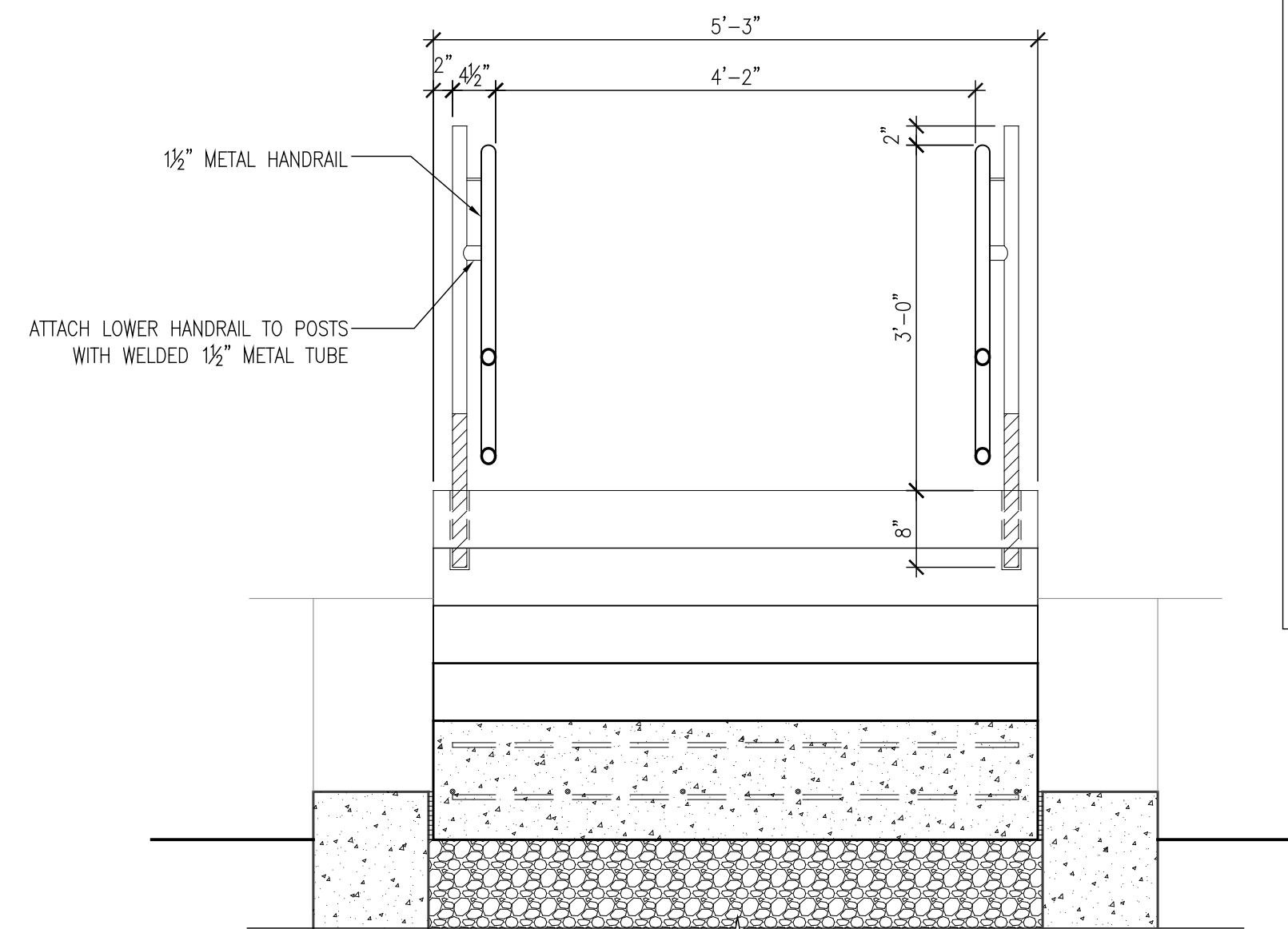
02 SIDEWALK DRAINAGE
SP1.02 SCALE: 1" = 1'-0"



01 SIDEWALK DETAIL
SP1.02 SCALE: 1" = 1'-0"



04 STAIR SECTION
SP1.02 SCALE: 3/4" = 1'-0"



03 STAIR SECTION
SP1.02 SCALE: 3/4" = 1'-0"

- GENERAL NOTES:**
- SEE SITE PLAN FOR APRON, MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
 - 1" PRIOR TO SEEDING, 2" PRIOR TO SODDING AND 4" IN PLANTING AREAS.
 - EXPANSION JOINT MATERIAL SHALL BE RECESSED 1/4" WHERE SEALANT IS NOT APPLIED, AND 1/2" WHERE SEALANT IS APPLIED.
 - EXTERIOR CONCRETE : USE 4,500 PSI. MIN. IF EXPOSED TO FREEZE-THAW CYCLES AND/OR DE-ICER SALTS. USE 3,000 PSI MIN. OTHERWISE EXCEPT USE 4000 PSI AT CONCRETE PAVING.
 - CONTRACTOR TO INSTALL EXPANSION AND CONTROL JOINTS AS REQUIRED PER THE SPECIFICATIONS.
 - ALL AGGREGATES SHALL SATISFY ASTM AND DEPARTMENT OF TRANSPORTATION STRENGTH AND DURABILITY REQUIREMENTS. GRANITE AGGREGATES ARE PREFERRED BUT HIGH QUALITY LIMESTONE AGGREGATES ARE ACCEPTABLE. SEE SPECIFICATION.
 - ALL REINFORCING BARS ARE TO BE EPOXY COATED, IN CONCRETE CURBS, GUTTERS, SIDEWALKS, PAVING, BASINS.

- SITE OBSERVATIONS BY CIVIL ENGINEER**
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN HE HAS REACHED THE CONSTRUCTION STAGE LISTED BELOW AND BEFORE THE WORK TO BE OBSERVED IS COVERED UP OR OTHERWISE BECOMES IN-ACCESSIBLE TO ANY NECESSARY CORRECTIONS. SITE OBSERVATIONS SHALL BE DONE BY THE ENGINEER OF RECORD OR AN APPROVED LICENSED CIVIL ENGINEER AT THE STAGES OF CONSTRUCTION LISTED BELOW.
- PRIOR TO PLACEMENT OF CONCRETE, VERIFY THAT THE CONSTRUCTION DIMENSIONS AND SPOT ELEVATIONS FOR LOCATIONS OF FORMS FOR CONCRETE FOOTINGS, STEM WALLS, BUILDING SLABS, MECHANICAL AND ELECTRICAL EQUIPMENT SLABS, CURBS, GUTTERS, WALKWAYS, AND DRAINAGE SYSTEMS ARE CORRECT.
 - PRIOR TO PLACEMENT OF PAVING AGGREGATE BASE, AND TOPSOIL, THAT THE ELEVATIONS OF THE ROUGH GRADING ARE CORRECT AND THAT THE WORK CONFORMS TO THE CONTRACT DOCUMENTS. PERFORM PROOF-ROLL TO DETECT UNSTABLE AREAS OF SUBGRADE.
 - PRIOR TO PLACEMENT OF PAVING, VERIFY ROAD BASE THICKNESS, GRADING, AND COMPACTION TESTING.
 - DURING PLACEMENT OF PAVING, VERIFY THICKNESS, SMOOTHNESS, METHOD, AND COMPACTION TESTING.

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THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROPERTY NUMBER: 517-9971
PROJECT DESIGNATION: ----



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ARCHITECT
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PROJECT:
VEST. AND CONC. REPLACEMENT
275 East 10600 South
Sandy, Utah ----

OWNER:
Sandy FM Group
PROJECT NUMBER: 517-9971

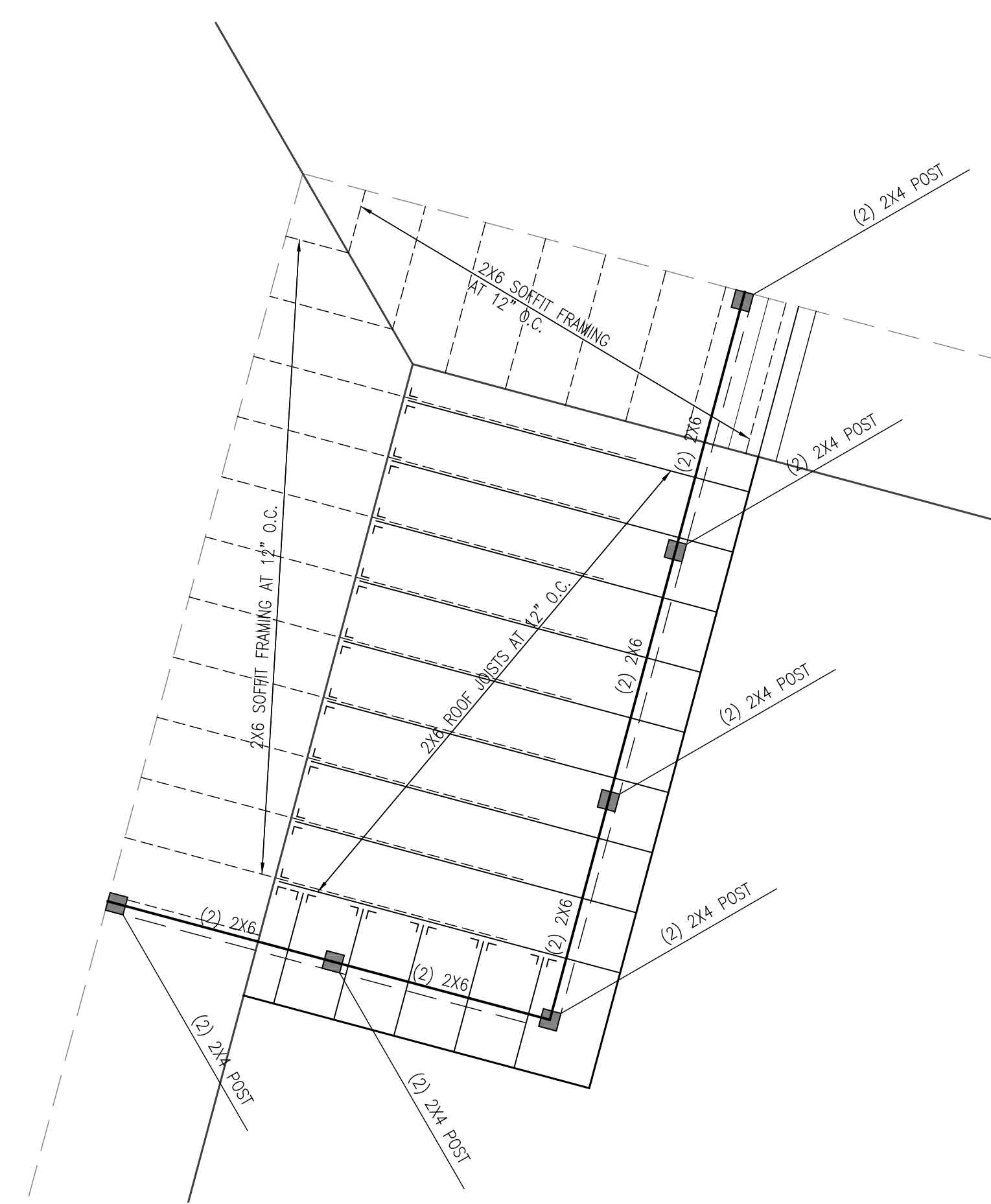
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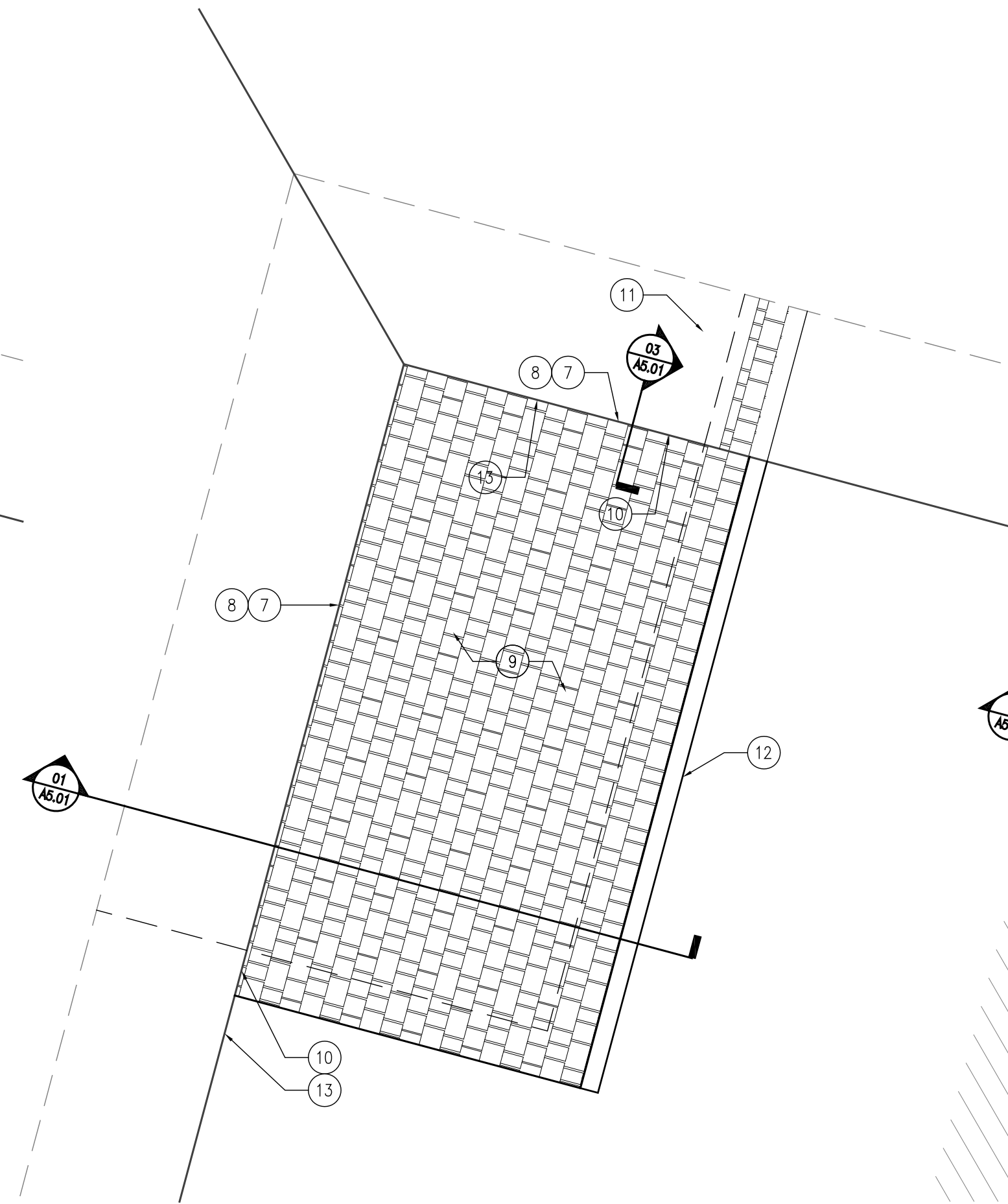
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SITE DETAILS

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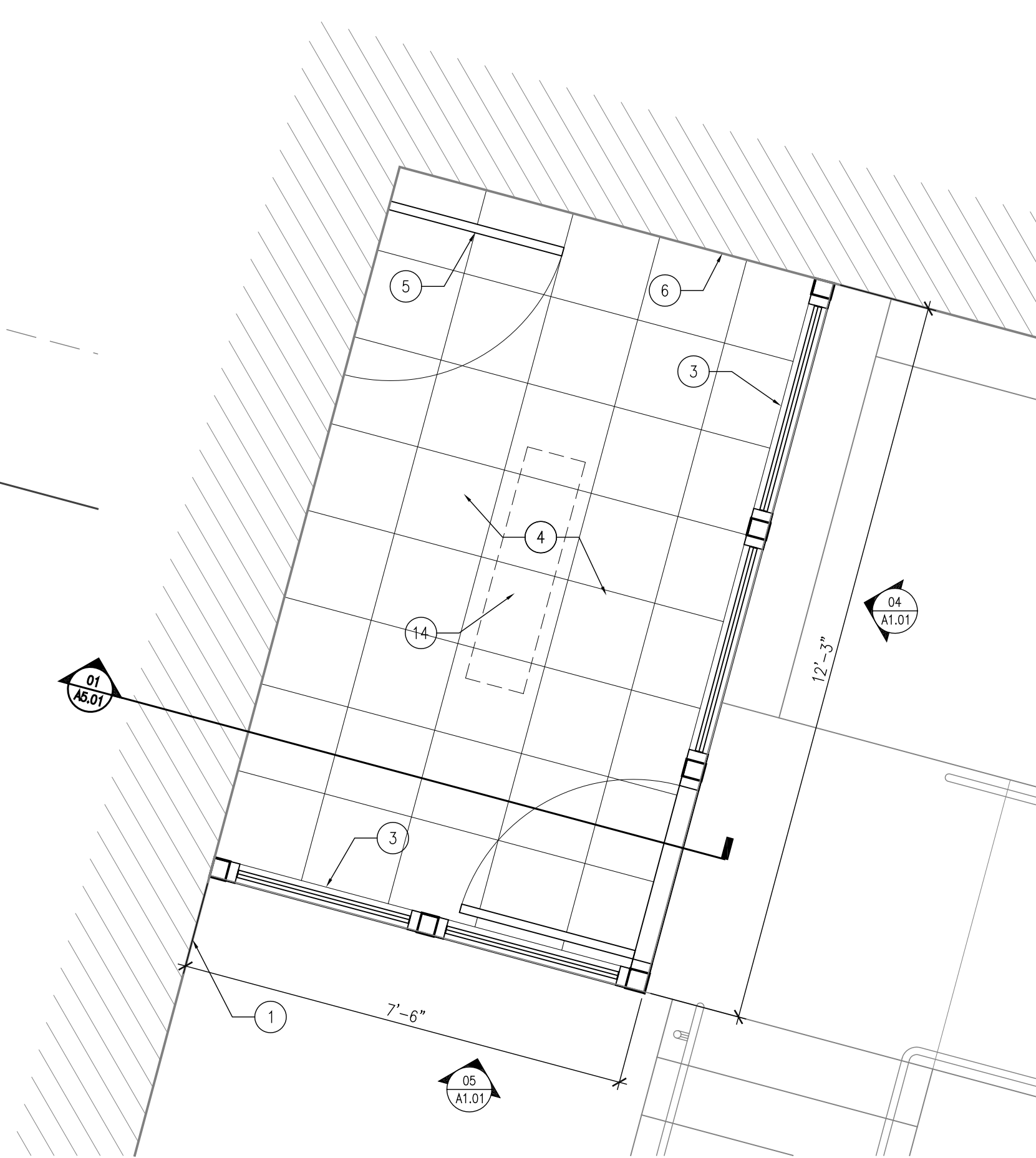
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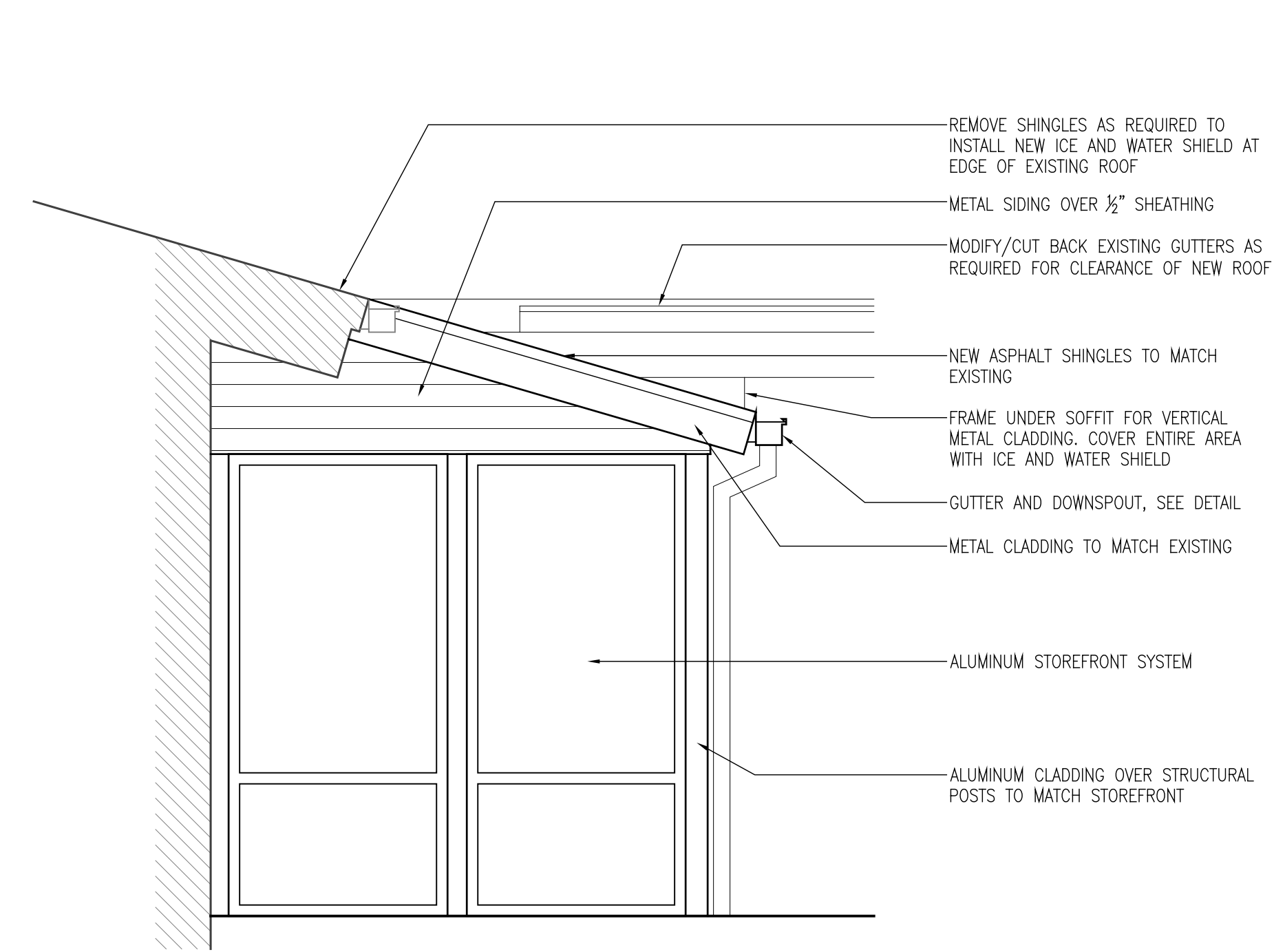
03 FRAMING PLAN
A1.01 SCALE: 1/2" = 1'-0"



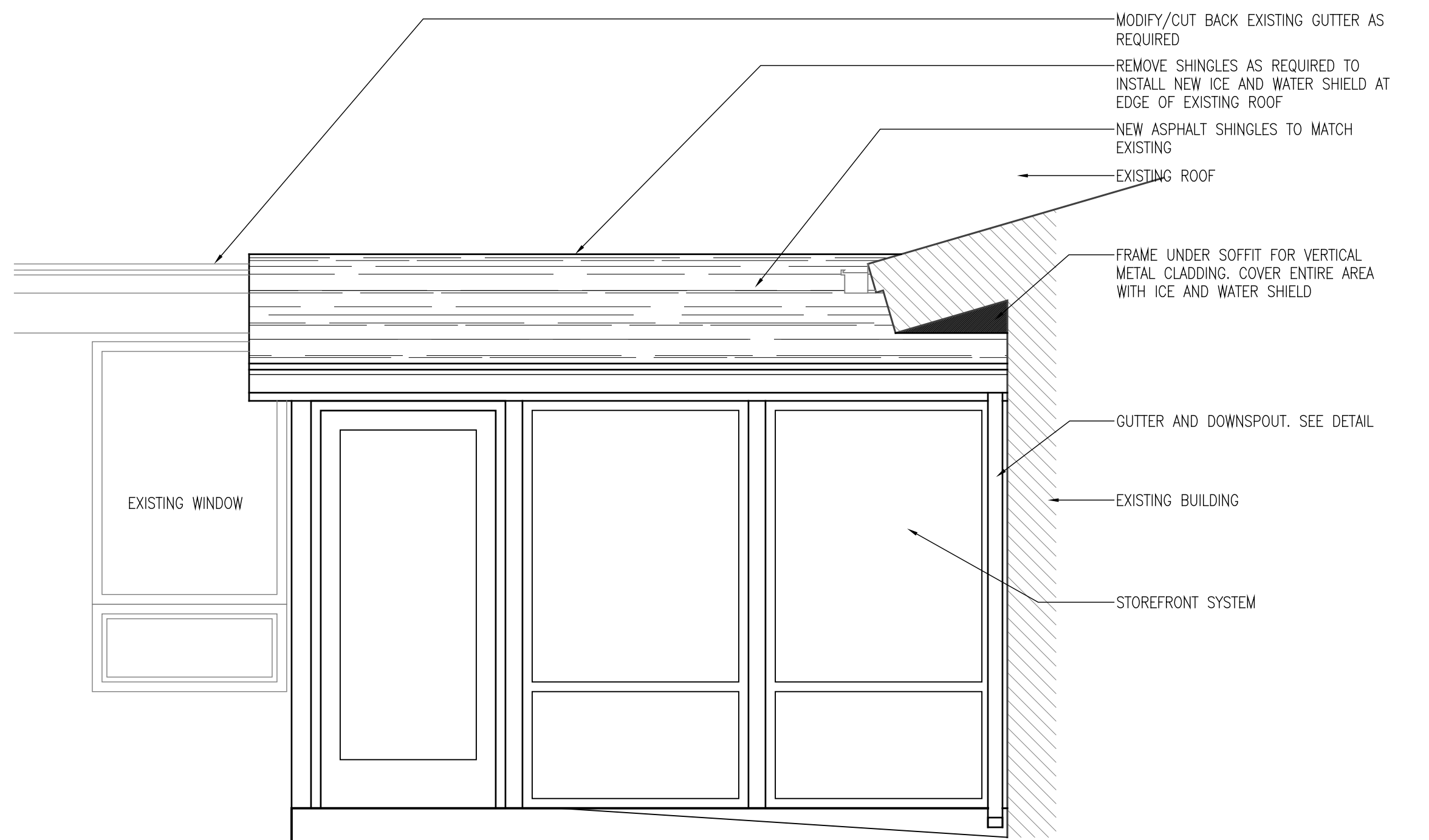
02 ROOF PLAN
A1.01 SCALE: 1/2" = 1'-0"



01 FLOOR PLAN
A1.01 SCALE: 1/2" = 1'-0"



05 EXTERIOR ELEVATION
A1.01 SCALE: 1/2" = 1'-0"

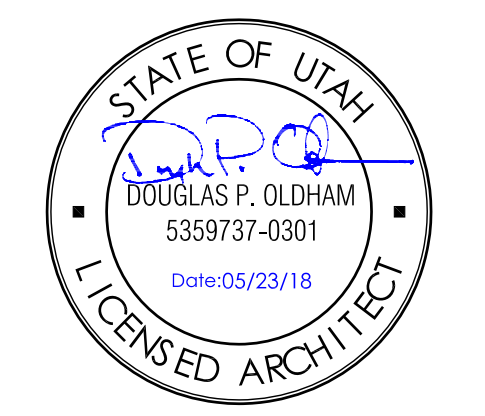


04 EXTERIOR ELEVATION
A1.01 SCALE: 1/2" = 1'-0"

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 - DO NOT SCALE DRAWINGS.
 - PROTECTS EXISTING STRUCTURES, FINISHES AND MATERIALS FROM DAMAGE.
 - RESTORE ALL AREAS NOT INCLUDED IN THE WORK BUT DISTURBED BY THE WORK TO THEIR ORIGINAL CONDITIONS.
 - DUE TO EXISTING CONDITIONS, ALL REQUIRED WORK MAY NOT BE EXPLICITLY REPRESENTED IN THE DOCUMENTS.
- KEYED NOTES:**
- EXISTING WINDOW TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION.
 - REMOVE EXISTING ROOF GUTTER AS NECESSARY WHERE NEW ROOF EXTENDS OVER NEW VESTIBULE. MODIFY EXISTING GUTTER TO OPEN END WHERE NEW ROOF EXTENDS UNDERNEATH.
 - INSTALL NEW STOREFRONT SYSTEM WITH DOOR PER MANUFACTURER RECOMMENDATIONS.
 - INSTALL NEW CARPET TILE OVER EXISTING CONCRETE. PREPARE SURFACE PER MANUFACTURERS RECOMMENDATIONS.
 - EXISTING DOOR TO REMAIN.
 - REMOVE EXISTING HANDRAIL, PATCH HOLES WITH MORTAR TO MATCH EXISTING.
 - REMOVE SHINGLES, EDGE MATERIAL AND GUTTERS AT EXISTING ROOF ADJACENT TO NEW ROOF WHERE REQUIRED DUE TO WORK BEING PERFORMED.
 - REMOVE EXISTING FASCIA METAL WHERE REQUIRE FOR NEW ICE AND WATER INSTALLATION, SALVAGE AND PROTECT FOR RE-INSTALLATION.
 - INSTALL NEW ARCHITECTURAL ASPHALT SHINGLE ROOFING SYSTEM PER MANUFACTURERS SPECIFICATIONS. INSTALL 100% ICE AND WATER SHIELD OVER NEW ROOF, INSTALL METAL FLASHINGS, COUNTERFLASHINGS, ETC. SEE DETAILS. BLEND INTO EXISTING ROOF WHERE APPLICABLE. MATCH EXISTING COLOR AND STYLE.
 - RE-INSTALL EXISTING FASCIA METAL WHERE REMOVED DUE TO NEW WORK.
 - FRAME WALL UNDER PORTION OF EXISTING SOFFIT THAT IS ABOVE NEW ROOF TO ALLOW FOR NEW CLAD METAL TO BE INSTALLED 4" FROM EDGE NEW ROOF. WRAP ENTIRE AREA WITH ICE AND WATER SHIELD.
 - INSTALL NEW GUTTER AND DOWNSPOUT AT NEW ROOF. MATCH EXISTING STYLE AND COLOR.
 - MODIFY EXISTING GUTTER AS REQUIRED DUE TO NEW WORK.
 - INSTALL NEW SURFACE MOUNTED LIGHT FIXTURE TO BE 1X4 FLAT PANEL 40W LED 3000K BY NORA, MODEL NPD-E14/AHL-34W-30A NPD-14RFK/A, PROVIDE POWER FROM ADJACENT SOURCE. SWITCH.

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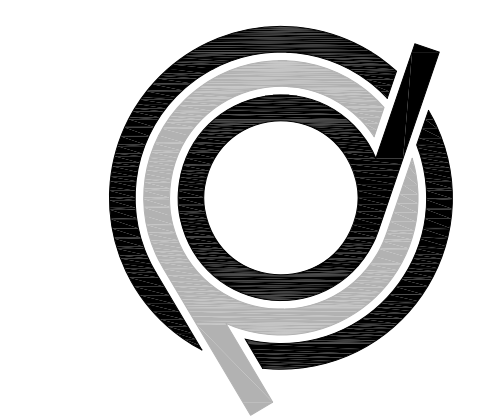
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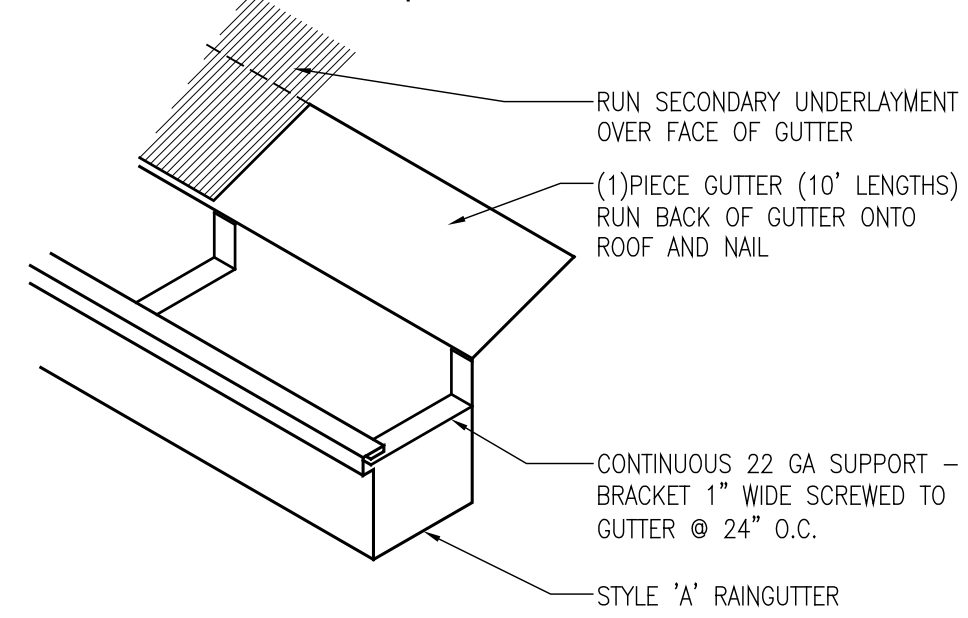
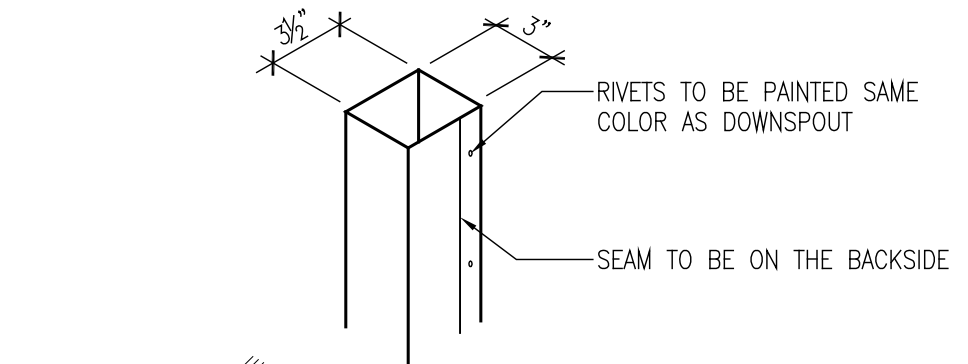
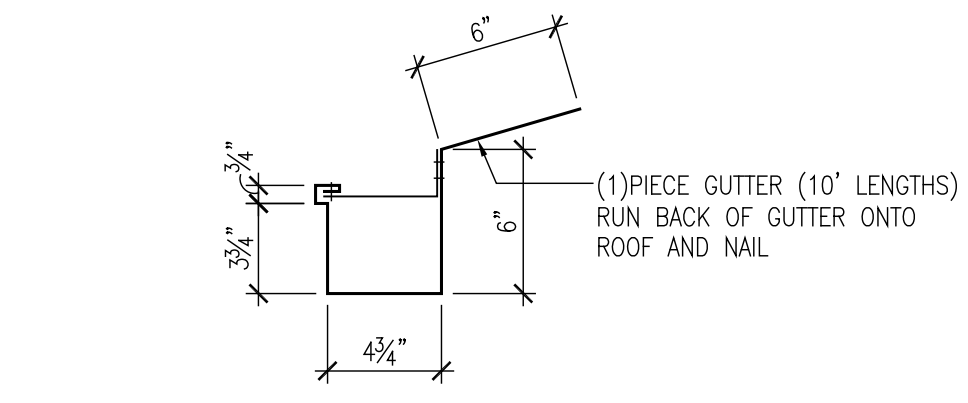
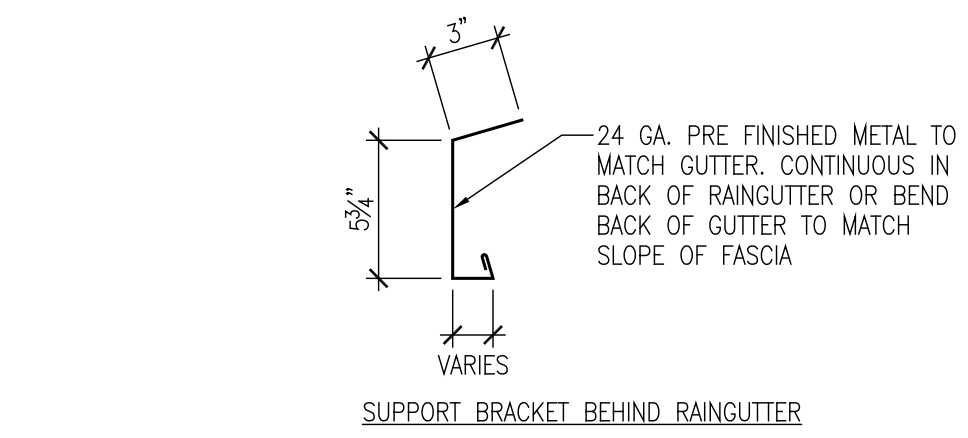
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VESTIBULE PLANS

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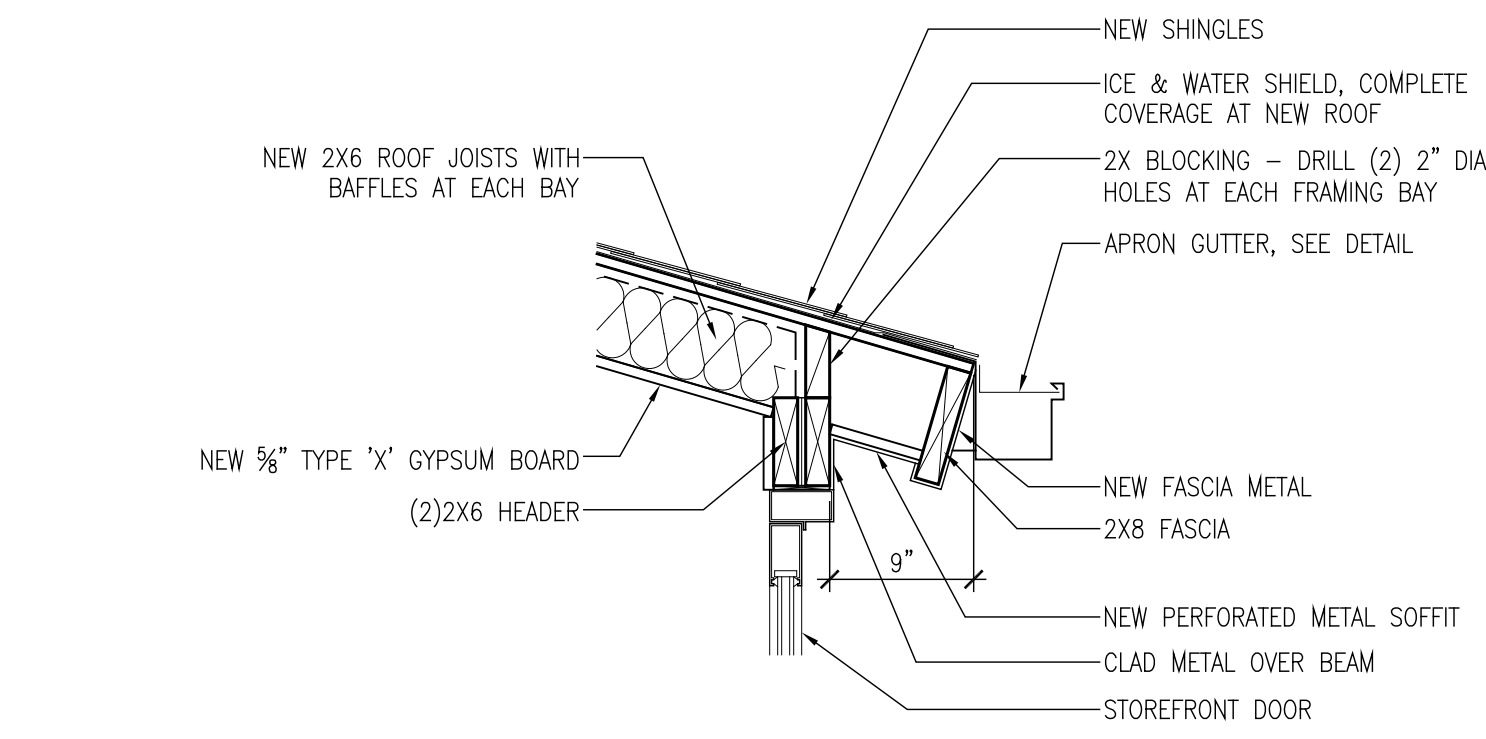
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DATE: 05/23/18

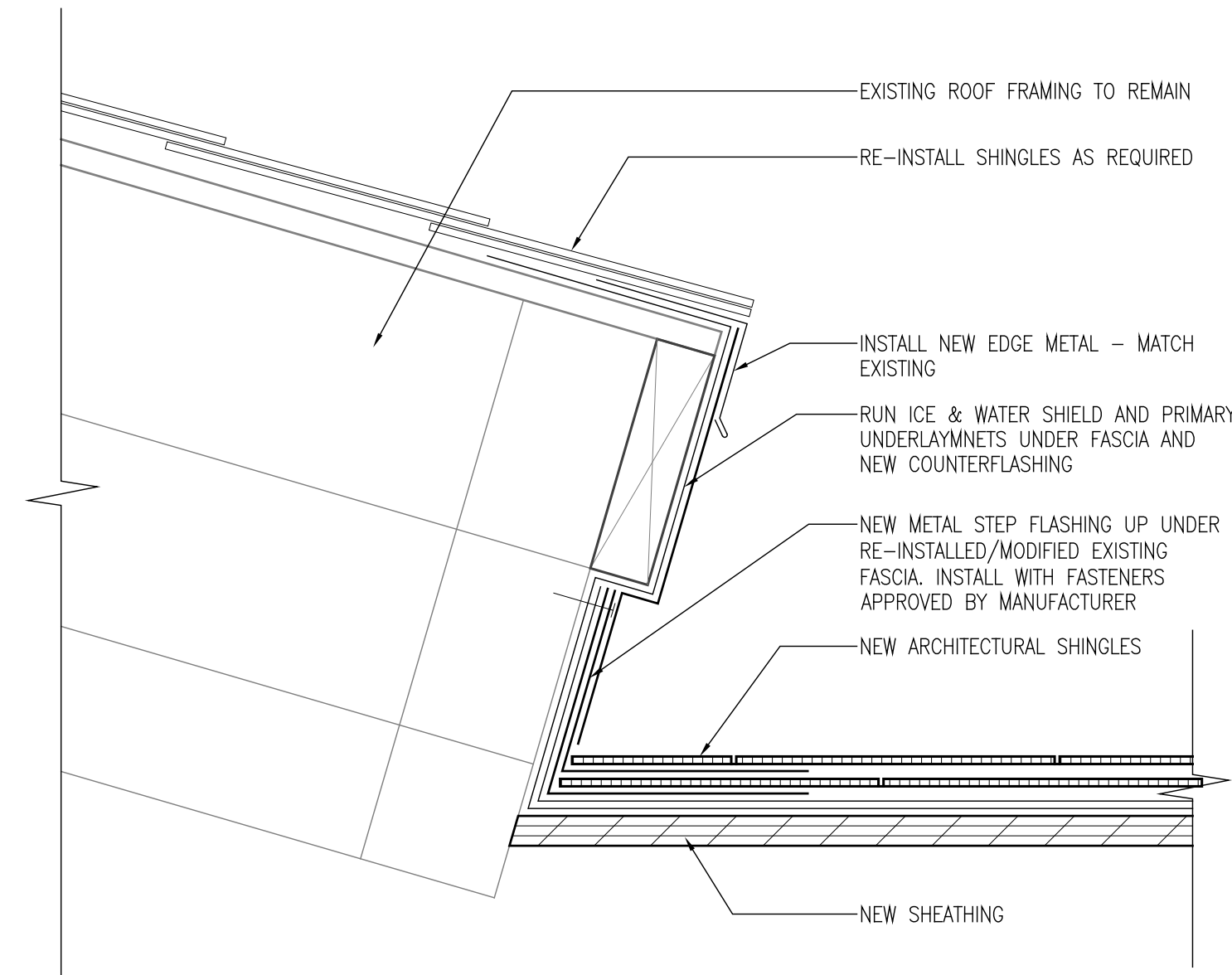


- NOTES:
- NO JOINTS ABOVE ENTRY DOORS.
 - RIVETS & SCREWS TO BE PAINTED SAME COLOR.
 - USE POP RIVETS AT ALL CONNECTIONS FROM RAINGUTTERS TO DOWNSPOUTS.
 - CAULKING TO BE SAME COLOR AS SHEET METAL.
 - IF FASCIA IS NOT VERTICAL, INSTALL NEW METAL SUPPORT BRACKETS BEHIND GUTTER. SEE SUPPORT BRACKET DETAIL.
 - EXPANSION JOINTS IN GUTTER EVERY 50 FEET.

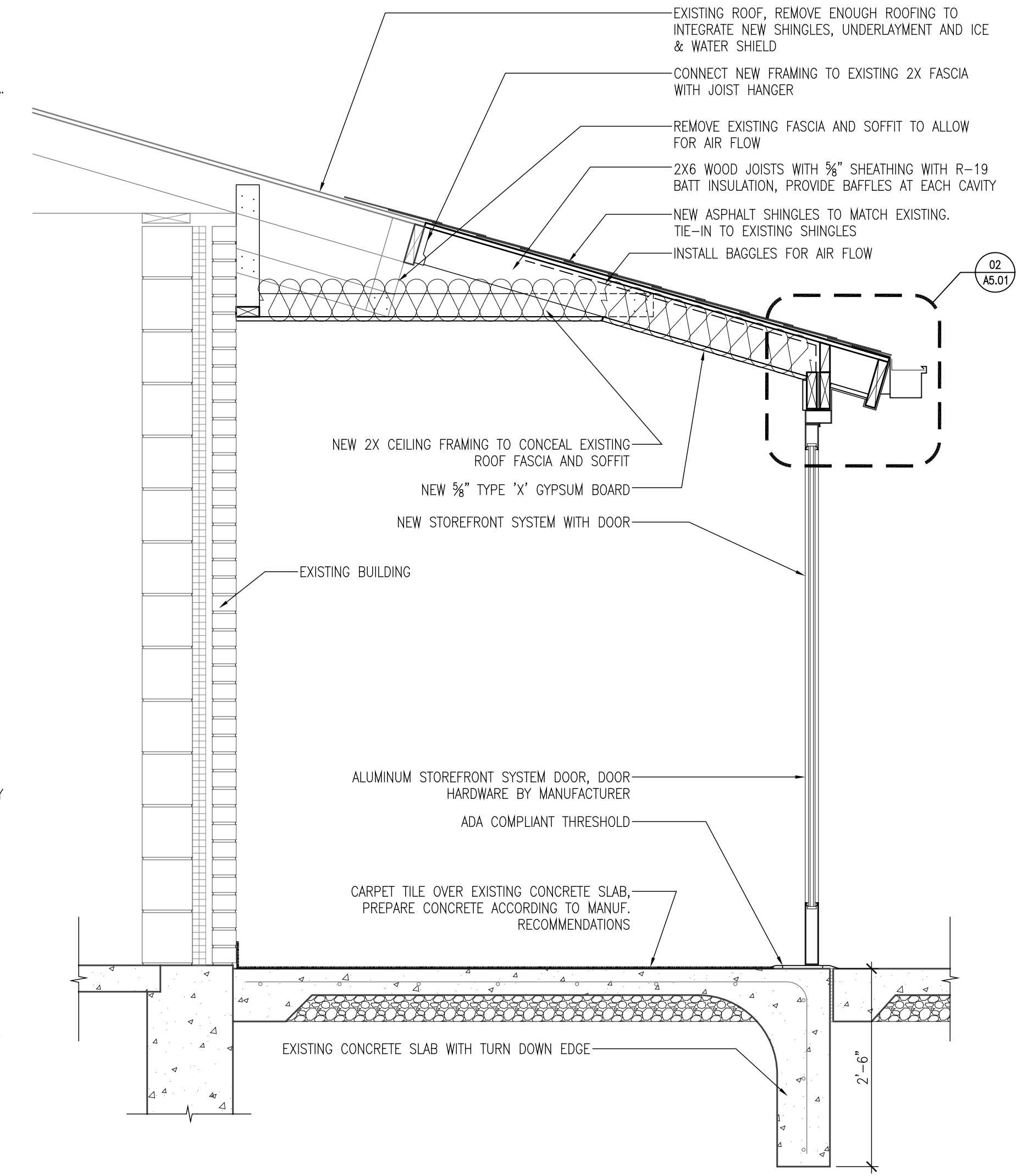
04 GUTTER/DOWNSPOUTS
SCALE: NOT TO SCALE



02 EAVE DETAIL
SCALE: 1" = 1'-0"



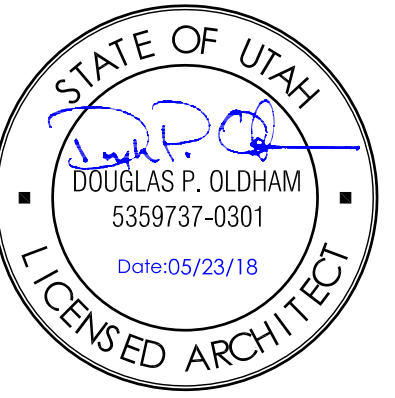
03 STEP FLASHING
SCALE: 3" = 1'-0"



01 BUILDING SECTION
SCALE: 3/4" = 1'-0"

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SHEET TITLE:
**SECTIONS AND
DETAILS**

SHEET NUMBER:

A5.01

DATE: 05/23/18